

**APPLICATION FOR HERITAGE GRANTS FUNDING ASSISTANCE FALL 2017**

**Visit Austin  
Historic Landmark Commission**

Visit Austin  
Attn: Steve Genovesi, Senior Vice President, Sales  
301 Congress Avenue, Suite 200  
Austin, Texas 78701  
Phone 512 583-7259 [REDACTED]

**Date:** July 28, 2017

**HISTORIC PROPERTY AND ADDRESS:** 708 San Antonio, Austin, Texas 78701

**APPLICANT'S NAME:** Austin Woman's Club

**NAME AND ADDRESS OF OWNER, IF DIFFERENT FROM APPLICANT:** N/A

**TAX I.D. NUMBER/TAX STATUS:** 1-74—0493310/ 501c3

**PERSON PRESENTING REQUEST/CONTACT PERSON:** Dr. Marie Marschall Fuller, Chairman, Grants Committee

Address: 1707 Mill Springs Drive, Austin, Texas 78746 Telephone numbers: Home 512 328-3940 Mobile 512 632-6660 Email: [REDACTED] FAX number: 512 328-3940 (Telephone first.)  
Austin Woman's Club FAX number: 512 472-6533

**PROJECT NAME:** Windows Restoration of North-Evans Chateau Fall 2017

**DESCRIPTION OF PROJECT:** See Attachment 9 for detailed information.

**HISTORIC DESIGNATIONS OF THE PROPERTY:**

State Historical Marker Texas Historical Marker (1962)  
City of Austin Historical Marker (1974)  
Texas Historic Landmark Texas Historical Commission Marker (1991)  
Contributor to Bremond Block National Historic District  
Located in an official Preserve America Community (2009)  
Texas's Most Endangered Places List, Preservation Texas (2010)

**AMOUNT OF FUNDING REQUESTED:** \$58,000

**AMOUNT OF MATCH OR VALUE OF IN-KIND MATCH:** \$60,000 in AWC Treasury plus \$5,000 for historic architect to develop an Assessment Plan for Exterior Restoration

**DO LIENS EXIST AGAINST THE HISTORIC PROPERTY? NO**

**IF YES, DESCRIBE THE LIENS AND AMOUNTS: NONE**

- Attachment 1 TOURISM JUSTIFICATION
- Attachment 2 HISTORIC DOCUMENTATION
- Attachment 3 CERTIFICATE OF APPROPRIATENESS FOR DEDICATED LANDMARKS
- Attachment 4 PROJECT BUDGET
- Attachment 5 THREE COMPETITIVE BIDS
- Attachment 6 PROJECT SCHEDULE
- Attachment 7 PROOF OF OWNERSHIP/LEASE/AUTHORIZATION
- Attachment 8 INSURANCE
- Attachment 9 PLANS AND SPECIFICATIONS OF PROPOSED WORK

INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: DEC 15 2008

AUSTIN WOMANS CLUB  
C/O BROBBY CROZIER & DOBIE PC  
BRIAN W CROZIER  
111 CONGRESS AVE STE 2250  
AUSTIN, TX 78701

Employer Identification Number:  
74-0493310  
DIN:  
17053182327038  
Contact Person:  
FELICIA JOHNSON ID# 31287  
Contact Telephone Number:  
(877) 829-5500  
Accounting Period Ending:  
June 30  
Public Charity Status:  
170(b)(1)(A)(iv)  
Form 990 Required:  
Yes  
Effective Date of Exemption:  
October 11, 1929  
Contribution Deductibility:  
Yes  
Addendum Applies:  
No

Dear Applicant:

We are pleased to inform you that upon review of your application for tax exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. We determined that you are a public charity under the Code section(s) listed in the heading of this letter.

Please see enclosed Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, for some helpful information about your responsibilities as an exempt organization.

Letter 947 (DO/CG)

AUSTIN WOMANS CLUB

We have sent a copy of this letter to your representative as indicated in your power of attorney.

Sincerely,

A handwritten signature in dark ink, appearing to read "Robert Choi". The signature is fluid and cursive, with the first name "Robert" and last name "Choi" clearly distinguishable.

Robert Choi  
Director, Exempt Organizations  
Rulings and Agreements

Enclosures: Publication 4221-PC



INTRODUCTORY EXPLANATION OF GRANT FOR WINDOWS RESTORATION OF NORTH-EVANS CHATEAU  
FALL 2017

To determine the most essential needs for restoration of the Austin Woman's Club North-Evans Chateau (also called Chateau Bellevue), the non-profit organization commissioned historic architect , John Volz to develop a Master Plan for exterior restoration. Mr. Volz prioritized the restorations needed for the old 1874 chateau that was updated in the 1890's. Given the age of the chateau, it sometimes difficult to decide which aspect most needs attention. This assessment document may be found at [https://www.dropbox.com/s/w2ngjq2583tgay/AWC%20Exterior%20Assessment 6 07 17.docx?dl=0](https://www.dropbox.com/s/w2ngjq2583tgay/AWC%20Exterior%20Assessment%206%2007%2017.docx?dl=0)

Ranking in the plan as the most crucial needs were the windows and the doors of the chateau. This Volz document includes detailed analysis of the windows scheduled for restoration in the Visit Austin grant request for Fall 2017. Colored photos of the windows and doors with identification are provided in this document. Given the high price for each for each window and the grant money available, only the windows are included in this grant request. This document is located at [https://www.dropbox.com/s/xvehai286xtri9h/AWC Window%20Conditions%20Revised%20%286-26-17%29.pdf?dl=0](https://www.dropbox.com/s/xvehai286xtri9h/AWC%20Window%20Conditions%20Revised%20286-26-17%29.pdf?dl=0) .

Since both these plans are extremely detailed, we have elected to furnish the committee with links rather than paper copies in an effort to support conservation principles.

# THE FOLLOWING PHOTOGRAPHS REVEAL NEEDED WINDOW REPAIR AND RESTORATION.



Photo 6: Deteriorated glazing putty and paint is typical. Note dropping bottom rail and stain from rusting fastener.



Photo 7: Typical example of failing bottom rail of top sash. Rail is bowing and dropping.



Photo 8: Deteriorated glazing putty has caused rail/stile joint to fail at this window. Note deteriorated paint on frame.



Photo 9: Deteriorated glazing putty has caused the bottom rail of the top sash to rot. Rail is dropping and bottom of muntin is rotting. Rails no longer meet and keeper of original sash lock is missing.



Photo 11: Typical sill condition. Note peeling paint and exposed wood. Note deteriorated finish on interior stool and water stains.



Photo 10: Jamb in contact with stone is rotting. Note open sealant joint.



Photo 12: Detail of typical exterior sill conditions. Note peeling paint and open joints. Note failing glazing putty on sash, checked bottom rail, and failing stile/rail joint.





Photo 14: Termite damaged window sill.



Photo 16: Typical window transom conditions. Note failing paint, open joints, deteriorated glazing putty, and rotting trim.



Photo 13: Detail of rotting bottom rail of bottom sash. Note deteriorated finish on interior stool and jamb.



Photo 15: Rotting window trim.



Photo 17: Typical condition of casement sash with stained glass. Note failing glazing putty and deteriorating stile/rail joint.



Photo 19: Typical door sidelight. Note deteriorated glass stop, peeling paint, checked wood, and water stains. Glass does not meet safety glazing requirements of the building code.



Photo 18: Typical damage caused by window air conditioning units. Note displacement of sash. This air conditioning unit is held in place only by the window sash. The bottom rail of the sash is rotting due to failed putty.



Photo 20: Sill at door sidelight. Note open joints, peeling paint, checked and rotting wood, and rust stains from corroding metal.



## **Attachment 1**

### **TOURISM JUSTIFICATION 2017**

The North-Evans Chateau (also called Chateau Bellevue) has been owned by the Austin Woman's Club (AWC) since 1929. It is frequently used as a site for a variety of corporate events, holiday parties, group luncheons, rehearsal dinners, weddings, receptions, and special events for a large number of Austin area residents, many tourists and other out-of-town guests. The Austin Woman's Club promotes educational and charitable activities under Section 501©3 of the Internal Revenue Code.

#### **AWC Chateau Bellevue Film and Production Companies Use 2017**

Over the past year, a new source for promoting tourism has come to Chateau Bellevue/Austin Woman's Club. Film and television production companies have evidenced strong interest in using this beautiful sight for filming. The Austin tourism industry will gain momentum as productions here make the city and the chateau known to a much wider audience. First to actually use the facilities in the past year was the Stems and Petals, followed by a contract for The Iron Orchard. The Son production staff inquired, and perhaps that information sparked the interest of the others.

Working with the many visitors from outside the community, the Austin Woman's Club must walk a careful line between the desires of the companies and the protection of the historical building. This is to insure the best possible experience for all parties. As in the past, this information about the facility is on file with the Texas Film Commission.

#### **Evidence of Numbers Using North-Evans Chateau**

An estimated 24,580 people attended a club, personal or other organizational function throughout 2016 and during the first six months of 2017 at AWC. These guests came from many different points over the state, nation and world. The data indicate a wide diversity of race and ethnicity among those attending events at the chateau. (See the attached spreadsheets on special events and recurring groups using the facilities.)

Weddings brought 5,162 people to the North-Evans Chateau in 2016 and the first six months of 2017. The records indicate that 1,893 out-of-town guests needed lodging for the night in 2016 and another 831 in the first six months of 2017. Of course, these guests sampled the many shops and restaurants in Austin. (See attached spreadsheet on AWC weddings of 2016-2017).

#### **Tours and Open Hours**

The North-Evans Chateau at 708-710 San Antonio Street in Austin is open Tuesday through Friday from 8:30 a.m. to 3:30 p.m., excluding major holidays. During that time visitors are welcome to tour. A private tour with the club manager or volunteer docent club member can be scheduled also. Detailed information about scheduling tours or using the facilities can be found on the web sites and in marketing material. The web site for the Austin Woman's Club is [www.austinwmc.org](http://www.austinwmc.org) and for the Junior Austin Woman's Club it is [www.jawc.org](http://www.jawc.org). One web site for marketing to brides and hosting special events is [www.chateaubellevueaustin.org](http://www.chateaubellevueaustin.org). Recognizing the importance of constantly refreshing social media,

publicity and advertising is updated throughout the year, with information like a virtual tour of the building included on the website.

### **Bremond Block Tours**

On Saturdays the AWC participates in the Bremond Block Tours sponsored by Visit Austin. The North-Evans Chateau is the ONLY house on the historic block opening the inside of the building to tourists on the walking tours. Presently the need for tours occurs about twice a month, with out-of-town or local guests given an opportunity to see inside the elegant historical chateau. Some 564 people signed the guest book from July 1 to June 15, 2017. Signees included visitors from 12 states and the countries of Germany, France, Scotland, and Canada.

### **Program and Special Group Tours**

At regular weekly meetings of the AWC, docents provide tours for presenters of programs and other guests. As a member of the Austin Museum Partnership with 35 other museums, the AWC held an open house in September, 2016. This city-wide celebration of art, culture, history etc. let visitors experience the historic grandeur of the North-Evans Chateau. More than 190 guests saw the elegance and beauty of the site. **Advertising and Publicity**

With the filming of the Iron Orchard, the following media outlets came to the building and did interviews inside thus seeing the interior and exterior of the historic building. The following media companies conducted interviews in the historic interior of Chateau Bellevue, AWC—CBS, KXAN TV, Texas Monthly. Additionally, there will be an article in The Society Diaries, a magazine published bi-monthly. Each issue of The Society Diaries is proudly displayed in the most luxurious residences, hotels, spas, and retail points across Texas.

The largest online source for wedding planning information is the Knot.com. The AWC has purchased online advertising from that source. The Wedding Wire is another source of advertising used. Other on-line presence for the chateau include Instagram, Twitter, Pinterest, and Facebook. The Love Wins Texas Weddings magazine included Chateau Bellevue in the spring 2017 issue in a story and list of favored LGBT-supportive vendors in Texas, noted a letter sent to AWC from the editor. (See the attached wedding-related materials.)

A booklet guide to historic destinations in Austin Every Place Has a Story, published by Visit Austin, features the North-Evans Chateau in the Downtown West section. It describes the chateau as a “prominent historic Austin location” since 1892 and reports the Romanesque castle was improved by architect Alfred Giles. (See attached. Copies available upon request at Visit Austin.)

The original owners named their home Bellevue, and this romantic name is often used for wedding information and publicity, rather than using the names of the owner as in North-Evans Chateau. In 2014 an appealing booklet in color, Chateau Bellevue, your moment in history, was produced to advertise “breathtaking ceremonies, elegant receptions, and corporate and special events”. It includes sources available to help plan and execute events there, such as photography, catering, etc. (See attached. Copies available upon request by the AWC.)

### **Most Endangered Sites in Texas**

Preservation Texas naming the AWC North-Evans Chateau one of Texas's most endangered sites in 2010 led to wide publicity from an Associated Press release and coverage in major Texas newspapers. This prompted many inquiries from architectural departments. Several different groups from The University of Texas at Austin have used this site as a teaching resource.

### **Research and Other Outreach Programs**

In 2010 the Historical Preservation Department at UT conducted a two-semester study of the building. Students documented the historic property with research, architectural photography, analytical measurements and drawings. These are known as "as-built drawings". Graduate students mapped every aspect of the building inside and out. This material is to become part of the U.S. Library of Congress. Also graduate students examined residue left by water infiltration. Then they tried to determine the best approaches and materials to overcome the problem.

In fall 2014 graduate students from the University of Texas at Austin began a study of internal temperature and humidity at the North-Evans Chateau, accessing the need to preserve unique woodwork carvings, stained-glass windows, other interior aspects, and documents. The goal is to achieve an energy-efficient historical home.

In spring 2015 a graduate student received his Master of Architecture degree at the UT School of Architecture based on his study at the North-Evans Chateau about retrofitting this historic building to be more energy efficient. The research question was about designing opportunities for energy retrofits of historic masonry buildings. Several AWC committees met with him for his suggestions then.

An education enrichment program to involve grade-school children led to the publication of several booklets, Discovering the Treasures of Chateau Bellevue and Windows. These books are available for the use of children or other interested guests.

Now in 2017 a committee is investigating the cost of having additional engineering and architectural drawings made, a necessary step before several businesses can provide accurate bids for installing duct-free air-conditioning. This type of unit is necessary to prevent damage to interior and exterior aspects of the chateau.

John Volz, historic architect, has recently completed an exterior assessment of the Chateau so AWC may constantly evaluate and preserve the exterior of the building. This assessment was paid for with Austin Woman's Club preservation funds.



# Austin Woman's Club Weddings of 2017

Event Date	Event Name	Guest Count	Local	Non local	Overnight	Points of Origin	Guest Diversity
1/21/2017	Brewer-Arnold WR	150	75	75	60	San Antonio TX; McKinney TX; Houston TX; Wisconsin; Puerto Rico; Brazil; Steamboat Springs CO	25% French 25% German
2/11/2017	Carrol-Stevens WR	127	90	40	40	Edna TX	10% Greek
3/4/2017	Driscoll-Williams WR	150	2	148	148	Dallas TX; Houston TX; San Antonio TX; Pennsylvania; Ohio; Illinois; Florida; Missouri	25% Irish
3/25/2017	Jensen-Butzbach WR	103	15	85	85	California; Washington; Georgia; Oregon; Florida; Arizona; China; Morocco; Sudan; France; England	
4/1/2017	Gilbert-Wilson WR	147	60	90	90	Houston TX; Atlanta GA; Phoenix AZ; San Francisco CA	15% French
4/8/2017	San Martin-Isturti WR	109	35	100	100	Florida; New York; California; Louisiana; Venezuela; Washington	
4/15/2017	Ennis-Skold WR	58	20	33	18	Norway; Houston TX; Dallas TX; Denver CO; San Diego CA	
5/13/2017	Bogdan-Spacek WR	150	80	70	70		
6/3/2017	Thompson-Anderson WR	100	20	80	100	Dallas TX; Houston TX; Chicago IL	30% Scottish 5% Greek
6/23/2017	Spinelli-Zalouris WR	100	20	80	70	Virginia; Colorado; Washington; California; Indonesia; Mozambique; Germany	50% Italian
6/24/2017	Kasper-Seller WR	110	40	60	50	Illinois; Florida; California; Georgia; Virginia; Houston TX	50% German

Guests: 1,304

Local: 457

Non Local: 861

Overnight: 831

# Chateau Bellevue, Home of The Austin Woman's Club

## Recurring Groups January-June 2017

<u>GROUP</u>	<u># of Meetings</u>	<u>Average Guest Count</u>	<u>Total Guests</u>	<u>% Diverse</u>
Information Systems Audit Control Association	5	50	250	25%
Daughters of the American Revolution	5	50	250	
Commercial Real Estate Women	3	80	240	20%
Austin High Ladies Alumni	1	50	50	
Hyde Park Reader's Guild	1	20	20	
Daughters of the Republic of Texas	4	40	160	
FFF Bridge	6	30	180	
Colonial Dames	2	20	40	
Wednesday Morning Music Club	1	50	50	
Young Women's Alliance	4	70	280	25%
Executive Women in Texas Government	7	30	210	20%
Navy League	2	70	140	
Austin Woman's Club	25	60	1500	45%
Junior Austin Woman's Club	4	30	120	
Docents of the Governor's Mansion	2	40	80	5%
Magna Charta	1	15	15	
4 <sup>th</sup> Wednesday Bridge	6	8	48	
English Speaking Union	3	70	210	

**Chateau Bellevue, Home of The Austin Woman's Club**

**Recurring Groups**

**January-June 2017**

University Ladies Club	1	60	60	20%
Austin Junior Forum	1	80	80	
National Charity League, Austin Chapter	2	70	70	10%
American Association of University Women	1			10%
Austin Woman's Federation	2	50	50	10%
Austin Symphony	2	25	50	
Capital Area Regents Council		40	280	10%
Lloyd Lochridge Inn of Court	4	20	200	
Shakespeare Book Club	1	55	385	10%
Precision Camera Workshop	1	24	24	10%
American History Club	1	25	25	30%
The Dance Club	1	25	25	
Tuesday Book Club	1	130	130	10%
Wednesday Morning Music Club	1	50	50	
Pathfinders Club	1	80	160	30%
National Charity League, Capital of Texas Chapter	1	16	32	
Cap. John Clay Jamestown Society	1	120	120	
SAR/CARC/DAR	1	20	20	
Powerhouse As Praise	1	20	20	
	1	100	100	10%

Total # of Guests:  
5724

## Special Events January-June 2017

<u>Group:</u>	<u>Date:</u>	<u># of Guests:</u>	<u>Guest Diversity:</u>
Town Lake Links Meeting	1/8/17	46	30%
Scholarship Fundraising Dinner	2/4/17	130	25%
Owen-Tuttle Rehearsal Dinner	2/3/17	90	10%
Capital City Men's Chorus	2/12/17	100	35%
Wayside School Dinner	2/16/17	166	
Powerhouse As Praise Anniversary Dinner	2/25/17	120	80%
United Nations Dinner	3/8/17	50	40%
Westpoint Society of Central Texas Dinner	3/11/17	119	
Ticket City SXSW Event	3/15/17	150	50%
AWC Fundraiser – Evening with Doug Montgomery	3/17/17	113	
AWC – Shopping at the Chateau	3/30/17	68	
Open House	1/31/17	40	25%
St. Mary's Academy Alumni Luncheon	4/22/17	70	
ACE Academy Spring Gala	4/30/17	150	
Waco and The Heart of Texas	5/12/17	75	10%
Julia Lynch Bridal Luncheon	5/19/17	35	
Dining in The Dark	5/26/17	65	30%
Gwen Ford Board Luncheon	6/13/17	18	
Cortez-Tanner Rehearsal Dinner	6/9/17	78	50%
ADMTA	4/28/17	96	
Austin Junior Forum	5/11/17	95	
		<u>Total # of Guests:</u>	
		1874	





**Chateau Bellevue** [Favorites](#)  
 30 Reviews  
 Austin, TX  
 512.379.5958 [Visit Website](#) [Message Vendor](#)



[Profile](#) [Reviews](#) [Photos](#) [Pricing & FAQ](#) [Map](#)

\*\*\*\*\*  
**4.9**  
 out of 5.0

**30 Reviews**  
 Quality of Service \*\*\*\*\* 4.9  
 Responsiveness \*\*\*\*\* 4.9  
 Professionalism \*\*\*\*\* 5.0  
 Value \*\*\*\*\* 4.8  
 Flexibility \*\*\*\*\* 4.9

Awards



**Message Vendor**

Mandy Forgyce  
[events@chateaubellevue.com](mailto:events@chateaubellevue.com)  
 Phone # [Wedding Date](#)  
 Write your message

Preferred Contact Method:  
☒ Email ☐ Phone

[Send a Message](#)

Chateau Bellevue  
 storefront on WeddingWire.com



# Chateau Bellevue Instagram

Sign up | Log in

Instagram  
Find it for free on the Windows Store.

GET



chateaubellevue Follow

189 posts    651 followers    163 following

Chateau Bellevue Wedding and Events Venue in the heart of Downtown Austin. Set up a venue tour today!  
512-472-1336 [events@austinwc.org](mailto:events@austinwc.org)  
[chateaubellevueaustin.org](http://chateaubellevueaustin.org)



*Save the date*



# Chateau Bellevue Twitter

Home Moments Search Twitter Have an account? Log in



TWEETS 108 FOLLOWING 75 FOLLOWERS 161 LIKES 5 Follow

**Chateau Bellevue**  
@ChateauAWC

Built in 1874, Chateau Bellevue is a fairy tale setting with French Romanesque arches and casual elegance creating old world charm and modern chic.

Downtown Austin, TX  
chateaubellevueaustin.org  
Joined March 2012

Photos and videos



Tweets Tweets & replies Media



**Chateau Bellevue** @ChateauAWC · Feb 14  
**Happy Valentine's Day!! Remember to spread love everyday and not just today!...**  
[instagram.com/p/BQfy9w0A6Us/](https://www.instagram.com/p/BQfy9w0A6Us/)

Retweets 1



**Chateau Bellevue** @ChateauAWC · Feb 11  
**What a beautiful day for a wedding! Thanks for the awesome tunes @markkientzman!...**  
[instagram.com/p/BQZBnSjgTDn/](https://www.instagram.com/p/BQZBnSjgTDn/)

Retweets



**Chateau Bellevue** @ChateauAWC · Feb 10  
**Another beautiful shot by @lindseythorne**

#chateaubellevue #austinweddings... [instagram.com/p/BQVissEAyrf/](https://www.instagram.com/p/BQVissEAyrf/)

Retweets

Promoted Tweet



**IFL My Life** @IFL\_My\_Life · Jan 22  
**What Monica Lewinsky Looks Like Now Is Unbelievable: [bit.ly/2jEAL5V](https://bit.ly/2jEAL5V)**





# Chateau Bellevue

192 Followers 45 Following  
www.chateaubellevue...  
Chateau Bellevue is a wedding and events venue with old world charm and elegance in the heart of downtown Austin, TX



Boards 3115 1,195



Bridal Portraits



Its All In The Details



Wedding Party



Wedding Ceremonies



Our Delicious Food!



Lighting Makes a Difference!



Special Events



Who Wants Dessert?!



Couples

Chateau Bellevue  
Pinterest



# CHATEAU BELLEVUE

HOME ABOUT DETAILS GALLERY BLOG CONTACT



ROMANCE AND ELEGANCE IN THE HEART OF DOWNTOWN AUSTIN

Chateau Bellevue is a welcoming and inclusive venue for all special occasions, including weddings, corporate meetings and special parties - one your guests are sure to remember.

Chateau Bellevue - Chate...  
Home Page





# LOVE WINS TEXAS WEDDINGS

REAL WEDDINGS PG. 40

## LOVE WINS TEXAS WEDDINGS

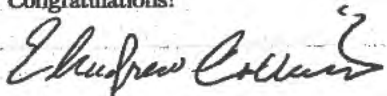
Dear Chateau Bellevue,

We're happy to announce that you are loved by Love Wins Texas Weddings magazine, which is why we included you in our winter-spring 2017 issue, either in one of our stories or in our list of favored LGBT-supportive vendors throughout the state.

Our editorial team is always on the lookout for the best and brightest LGBT-welcoming wedding-related businesses in Texas. There's nothing we love more than sharing our discoveries with our readers, who trust us to guide them to local businesses that are doing it right and helping LGBT Texans—and others planning destination weddings or honeymoons in Texas—to celebrate their big day. And we're always careful to honor that trust by thoughtfully curating our coverage.

As such, we hope you're proud Love Wins Texas Weddings loves you—and that you'll tell the world about it by displaying the enclosed cling in your window and both following and liking us on social media.

Congratulations!



Andrew Collins  
Editor-in-Chief



/LoveWinsTexas



@LoveWinsTexas



@LoveWinsTexas



LoveWinsTexas

lovewintexas.com | info@lovewintexas.com

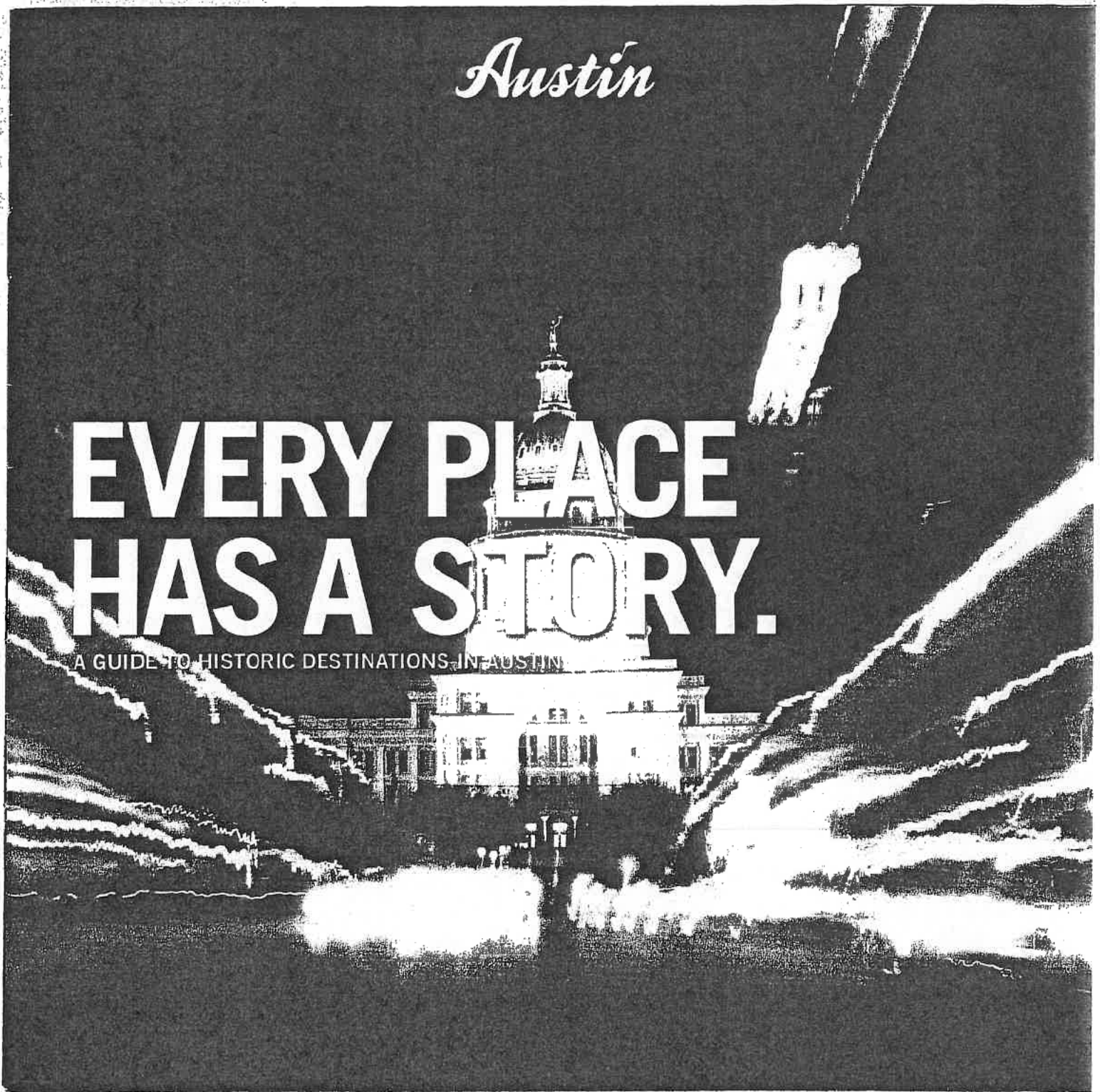




*Austin*

# EVERY PLACE HAS A STORY.

A GUIDE TO HISTORIC DESTINATIONS IN AUSTIN





# 5 DOWNTOWN WEST

## BREMOND BLOCK

Marriages joined the families of successful merchants John Robinson and John Bremond, and a family compound was created here. The oldest house was built by Abner Cook in 1855. Architect George Fiegl's Victorian styling predominated from 1873 to 1887. *Privately owned buildings, viewable from the street. Boundary: Guadalupe, San Antonio, West Seventh and West Eighth Streets.*

## NORTH-EVANS CHATEAU BELLEVUE

Ira Evans was a prominent banker, legislator and advocate for freed slaves. Upon purchasing this 1874 Victorian Romanesque castle in 1892, he hired architect Alfred Giles to improve the house, resulting in its dramatic appearance today. It has been the home of the Austin Woman's Club since 1929. *708 San Antonio St. 512-472-1336. Weddings, events, tours. austinwv.org.*

## HEMAN MARION SWEATT COURTHOUSE

Cordova shell limestone with fossil imprints was used by Page Brothers Architects for Travis County's 1931 courthouse. In 1946,

Herman Marion Sweatt, backed by the NAACP, sued the University of Texas for admittance to its law school. The case, argued here by Thurgood Marshall, moved the U.S. toward equality in education. *1000 Guadalupe St. traviscountyhistory.org.*

## AUSTIN HISTORY CENTER

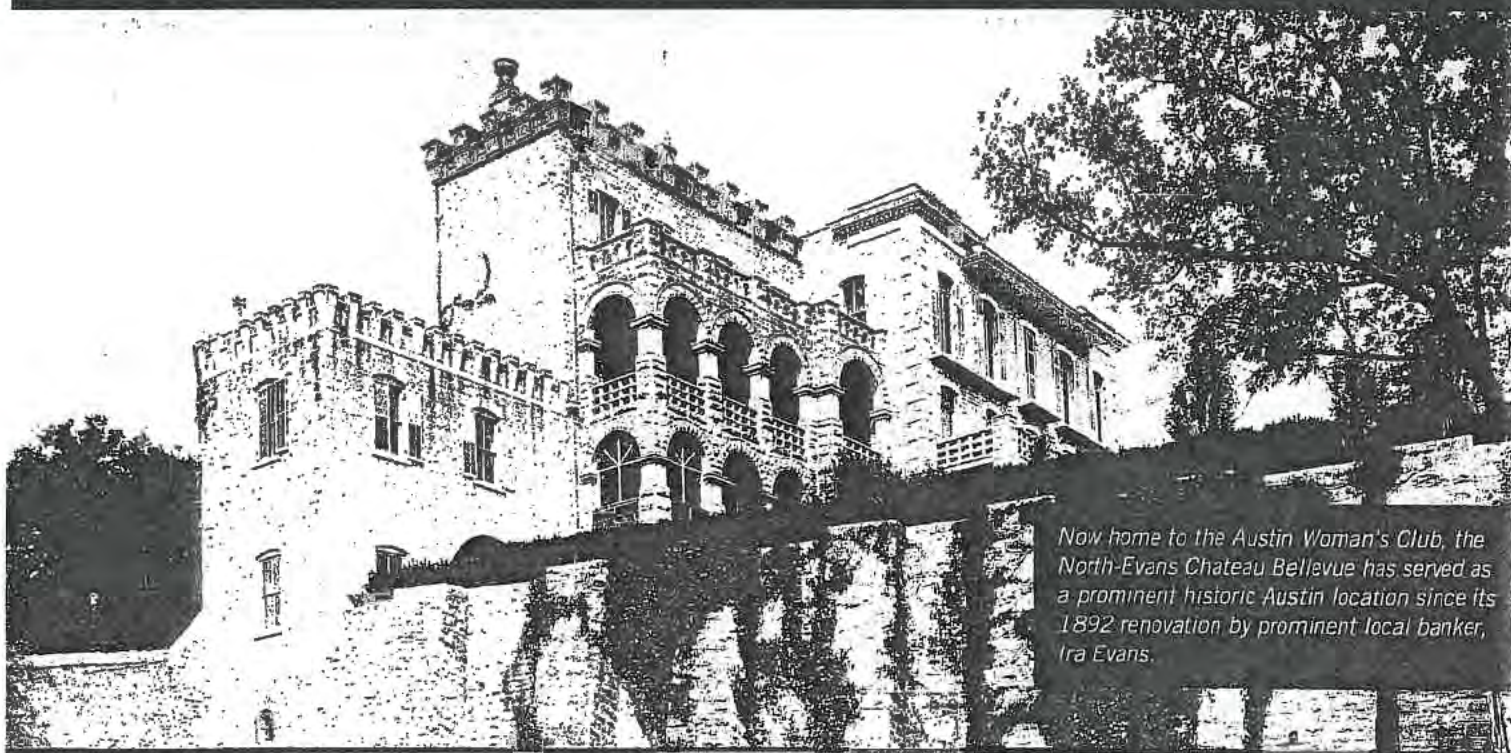
This 1933 Italian Renaissance building, once Austin's main library, was designed by Hugo Kuehne, first dean of the UT School of Architecture. Frescoes, ironwork and wood carvings were done by Austin's finest craftsmen. Interesting exhibits and events recapture Austin's past. *810 Guadalupe St. 512-974-7480. austinhistorycenter.org.*

## JUDGE'S HILL NEIGHBORHOOD

Prominent Austin families lived on this high ground northwest of Capitol Hill, in homes dating from the 1850s to the 1900s. *Approximate boundary: West 14th Street to M.K. Jr. Boulevard; Rio Grande Street to Shoal Creek. Private properties; view from street. The Caswell House hosts weddings, events and tours. 1404 West Ave.*

## HISTORIC OPEN SPACES

Republic Square and Wooldridge Park have been designated open spaces since Austin was founded in 1839. *Guadalupe Street, at West Fourth Street and West Ninth Street.*

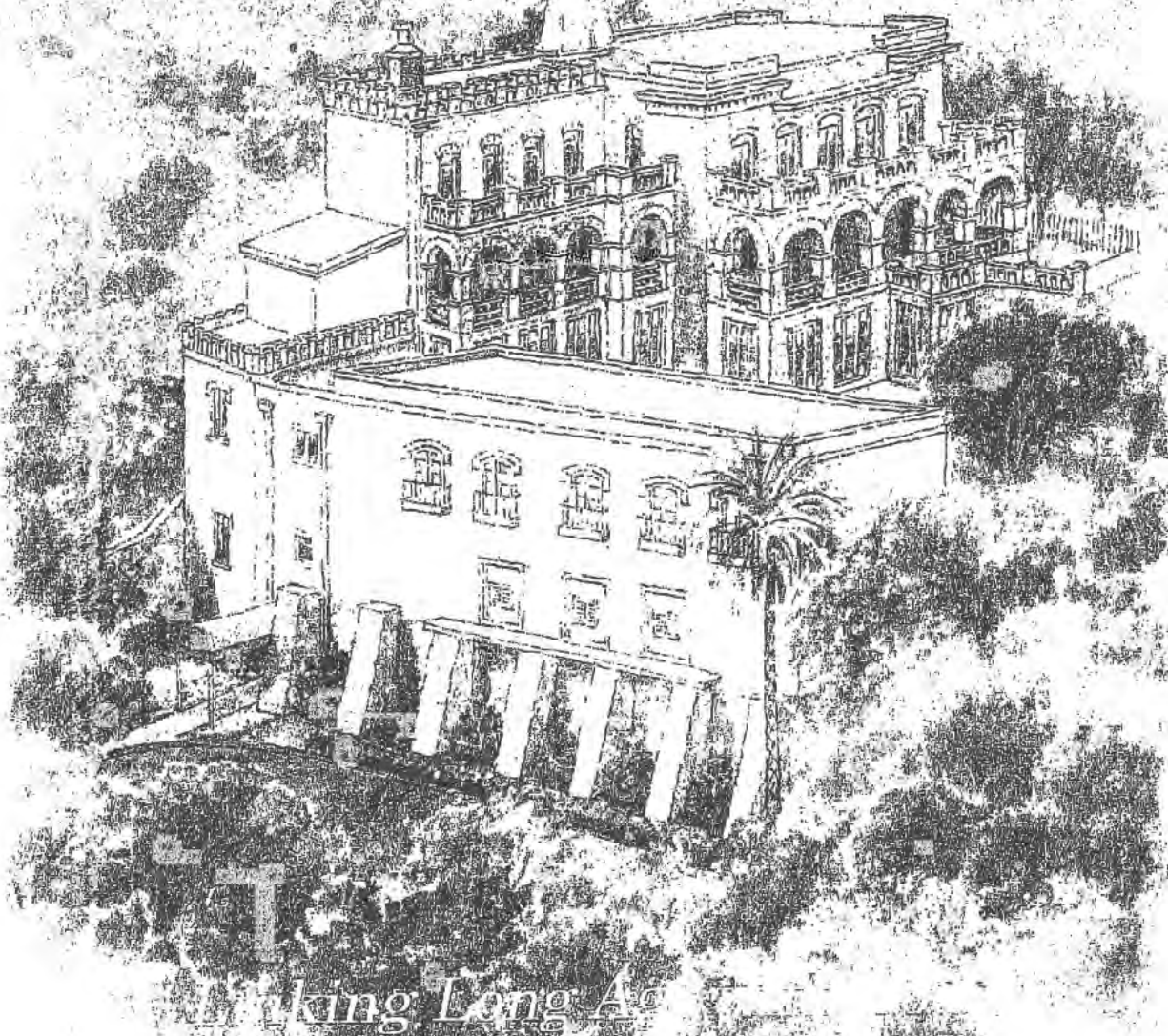


Now home to the Austin Woman's Club, the North-Evans Chateau Bellevue has served as a prominent historic Austin location since its 1892 renovation by prominent local banker, Ira Evans.



Discovering the Treasures of

# Chateau Bellevue



Visitor's Name \_\_\_\_\_



Photograph by Mary Velje Huey

*Stained glass window, front entrance hallway*

# WINDOWS

*A Guide to*  
Discovering  
the Treasures  
of  
Chateau  
Bellevue



## Attachment 2

## HISTORIC DOCUMENTATION FALL 2017

The histories of the North-Evans Chateau Bellevue and the Austin Woman's Club indicate a dedication to preserving the historical building that is the home of the Austin Woman's Club. The determination of 501 c 3 status resulted in a **significant change in the organization** of the AWC. Unlike most woman's clubs nation-wide, the Austin Woman's Club became a non-profit organization in 2008.

To protect and preserve the magnificent building in their trust, members of the AWC are guided by their mission statement:

**The mission of the Austin Woman's Club is to preserve the historical and architectural heritage of the North-Evans Chateau and to serve the public through community service, including educational, civic and social activities.**

Members have a deep commitment to that goal. Last year from July 2015-2016, members reported having spent over 4200 hours. In July 2017, (the latest figures are not yet compiled but if one-half of the previous year is added to get an estimate for 18 months), that figure would be about 6300 hours worked. With the in-kind values of volunteer work set at \$23.56 per hour by the IRS, this group would have contributed work hours which are worth \$148,428!

## NORTH-EVANS CHATEAU

The North-Evans Chateau, called Bellevue Place, was built by Catherine and Harvey North in 1874. In 1892 Major Ira Evans bought the chateau and made the home a showplace, with the guidance of the internationally known Sir Alfred Giles as architect. In 1929 the mansion was purchased by a group which became known as the Austin Woman's Club. **The Texas Historical Commission was established in this building while Evans was the owner!**

The Norths originally came from a suburb of Paris. Seeking his fortune in the United States, Harvey North became a merchant in New Orleans. His business ventures brought him to the capital of Texas. Wanting to show the means of the new residents, the North's Austin home was built in the style of a French Romanesque chateau. Just two years after the mansion was built, North's real estate empire hit hard times. He died in 1881, necessitating the sale of the chateau in 1884. The widowed Catherine North sold Bellevue Place to the owner and editor of the Daily Democrat-Statesman William and his wife Augusta Gaines. They paid only half of what the mansion had cost to build, but a sharp decline in their finances returned ownership back to Catherine North in just two years.

In 1892 the greatly-admired architect Sir Alfred Giles was called to turn Bellevue Place into a castle-appearing home when Congressional Medal of Honor recipient Major Ira Evans purchased the chateau. Born in 1844 Evans was distinguished as the youngest speaker of the Texas House of Representatives in 1870. Then he began a business career where he was active in railroads, land sales, banking etc. Believing in education for newly-freed slaves, he used his money and influence to establish what was to become Huston-Tillotson College. He was co-founder of the Austin National Bank and a member of many military, historical, scientific, political, and religious organizations. Besides the Texas Historical Commission, many other civic and social groups had their beginnings here.

The original Bellevue Place was three-stories with a two-story west wing extending below the cliff to the bank of Little Shoal Creek. When Ira and Francese Hobart Evans bought the house, Alfred Giles remodeled both the interior and exterior of the chateau. Part of the original west wing was torn down and the rock used for an addition to the third floor, a rock wall, and stately porches on the south. Crenellations fortified the rooftops. The inside was much as it is seen today.

Today the interior of the house is extremely well-preserved and exhibited to the public by the non-profit Austin Woman's Club. The interior includes:

- \* Many fireplaces of marble, carved wood, and European tile
- \* Delicate hand-carved cherry wood grills
- \* Paneled Texas-pine wainscoting
- \* Drawing rooms furnished with antique Louis XV and XVI period furniture
- \* Persian rugs
- \* Ornate stained-glass windows
- \* Original crystal chandeliers and light fixtures
- \* Massive hand-carved doors
- \* Parquetry floors

#### AUSTIN WOMAN'S CLUB

In the early years of the 20th Century, a variety of uses were made of the building without careful attention to its historic value. In 1929, the Austin Woman's Club was founded. That same year, with a \$6000 down payment, AWC bought the North-Evans home from the Evans Estate for \$36,000. The Austin Woman's Club began its community involvement to allow women to have a place to gather and network about topics of the day in beautiful surroundings at a centrally-located site downtown. (At that time period women usually did not have places to meet other women besides in homes and churches, whereas men had their male-only private clubs, bars, etc.)

Twelve other groups joined the founding AWC members to secure a place where women could gather, network, and learn. Some of the groups included the Settlement Club, the Readers Guild, the Jewish Council of Women, and the Violet Crown Garden Club.

One hundred and sixty-two women were charter members with family names prominently associated with Austin in the 1920s—including Governor Miriam A. Ferguson, Mrs. Percy V. Pennybacker, Mrs. Walter Bremond, Mrs. John D. Howson, Miss Lilia Casis, Mrs. J.E. Pearce and Mrs. Z.T. Scott. The founding president was Mrs. Sam J. Smith. In 1939 a Junior Austin Woman's Club was organized.

More than 50 AWC meetings each year continue to provide a venue for programs featuring outstanding authors, musicians, architects, poets, artists, historians, and civic leaders. Today in addition to AWC members, people using the facilities include more than 3600 guests at special events, more than 5100

wedding guests, and more than 15,700 guests of recurring groups. (For a detailed record of the precise numbers using the Chateau Bellevue, see the previous Tourism Justification section, Attachment 1.)

VOH

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*Renewing Traditions of American Architecture*

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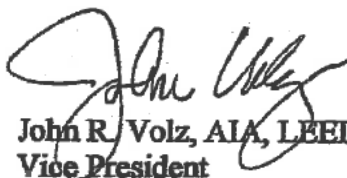
May 22, 2015

To Whom It May Concern:

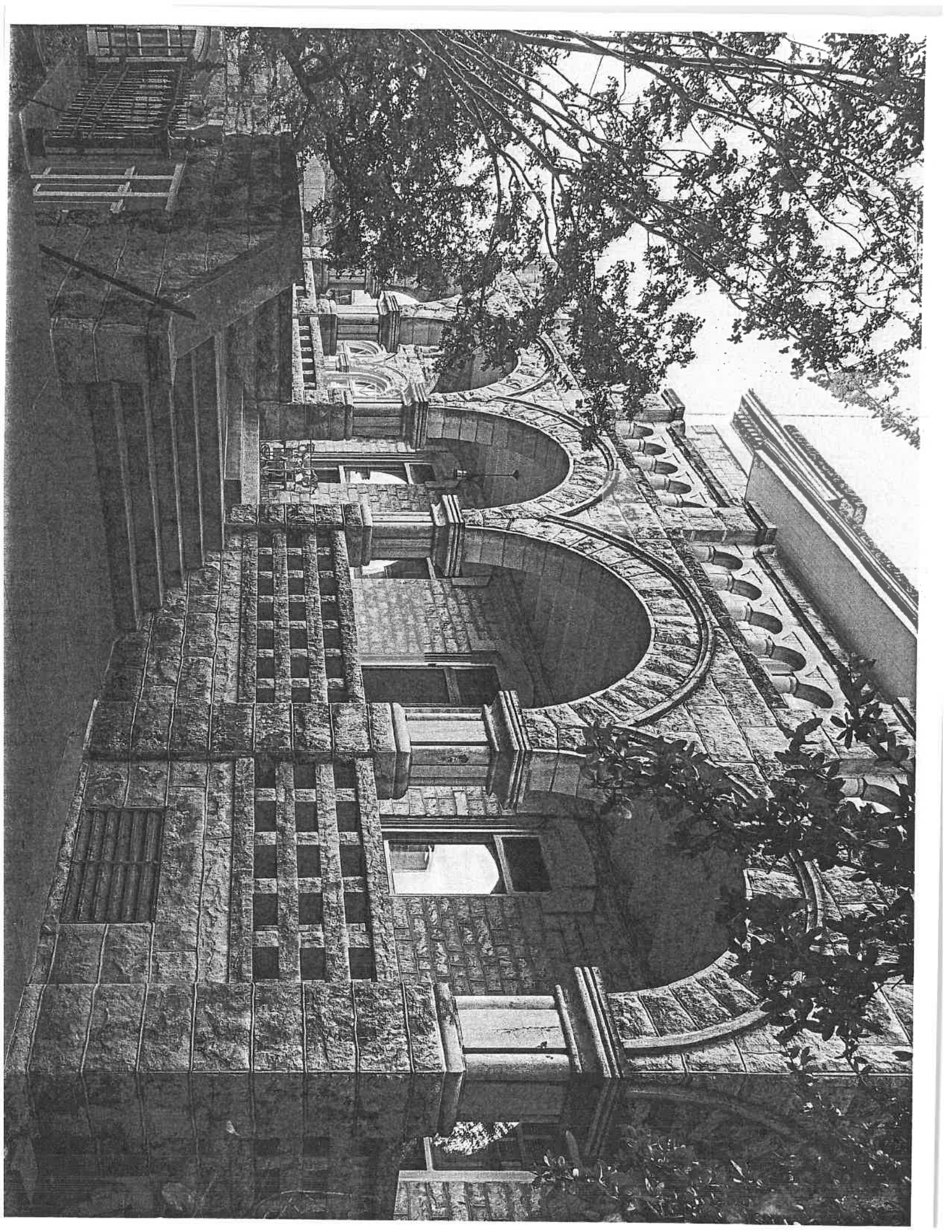
On Friday, April 11, 2015, I had the honor to co-lead the Austin History Center/Historic Downtown Corridor tour during the annual meeting of the Society of Architectural Historians. This tour was the first to be completely sold, and 25 architectural historians from around the world participated.

Among the buildings on this tour was Chateau Bellevue, home of the Austin Woman's Club. After walking through Chateau Bellevue, several of the historians emphatically told me that the interiors of the Chateau, and specifically, the Eastlake pocket doors, were the finest that they had seen while in Texas. These comments are a testament to the architectural quality and significance of Chateau Bellevue. Please do what you can to support its preservation.

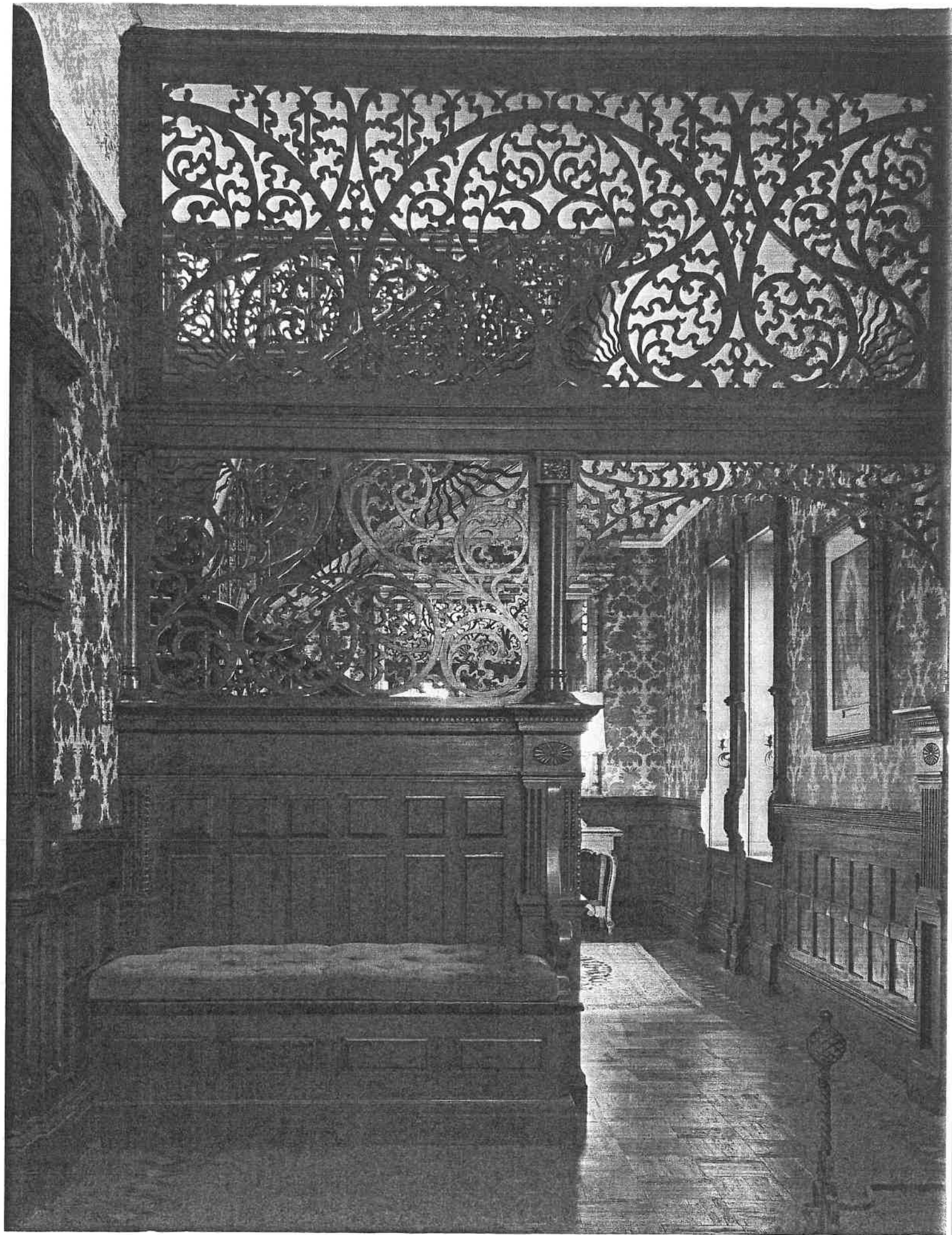
Sincerely,

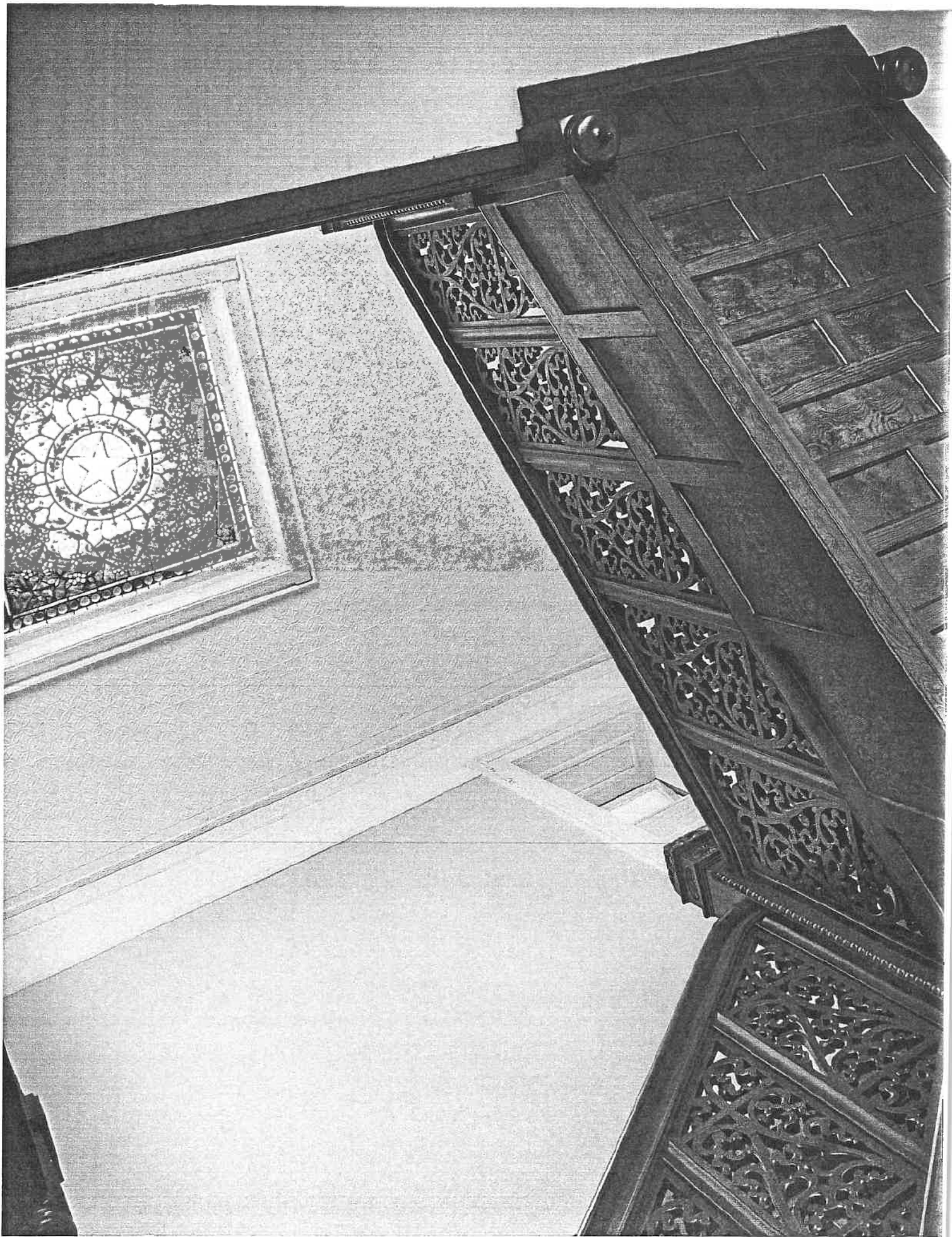


John R. Volz, AIA, LEED AP  
Vice President

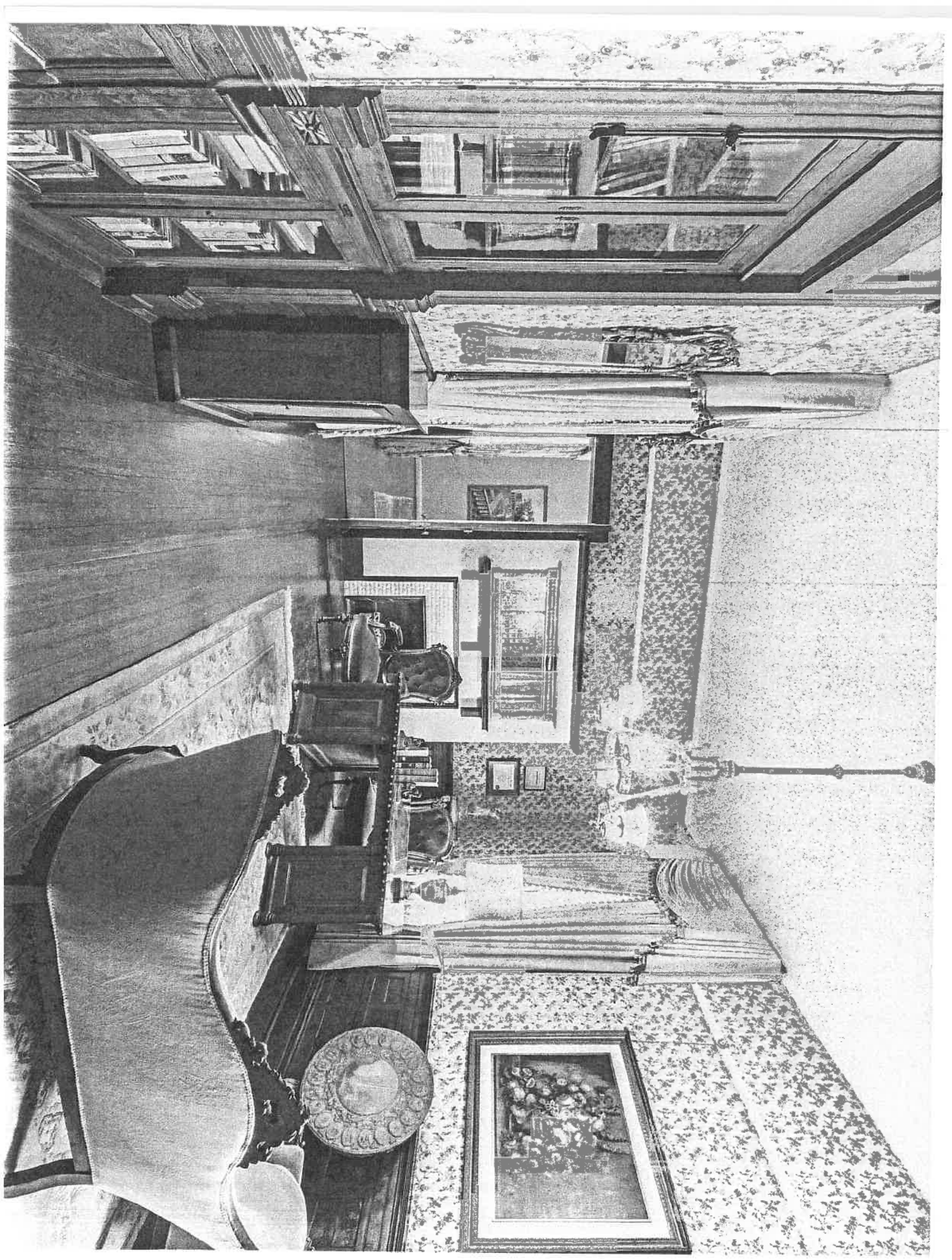




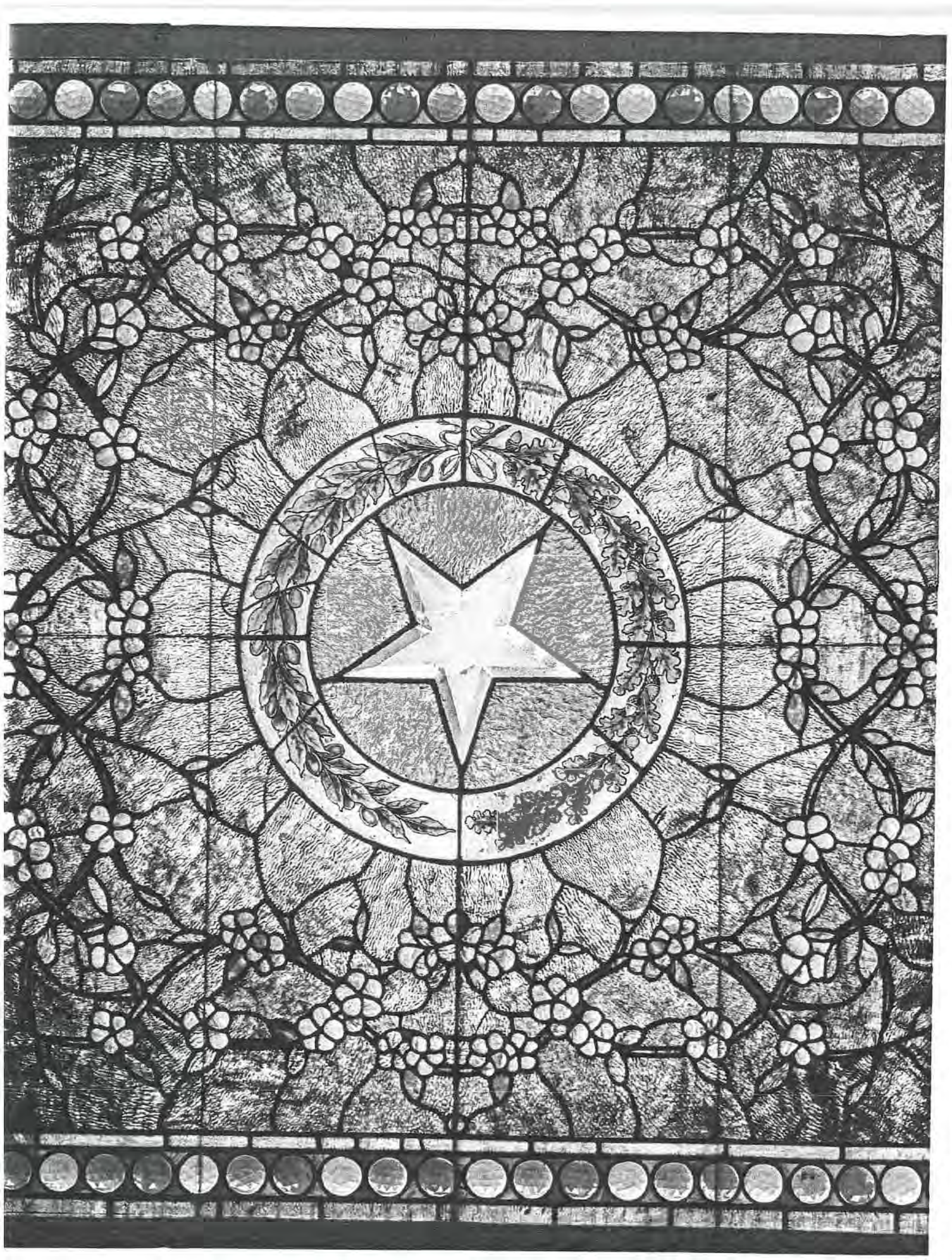






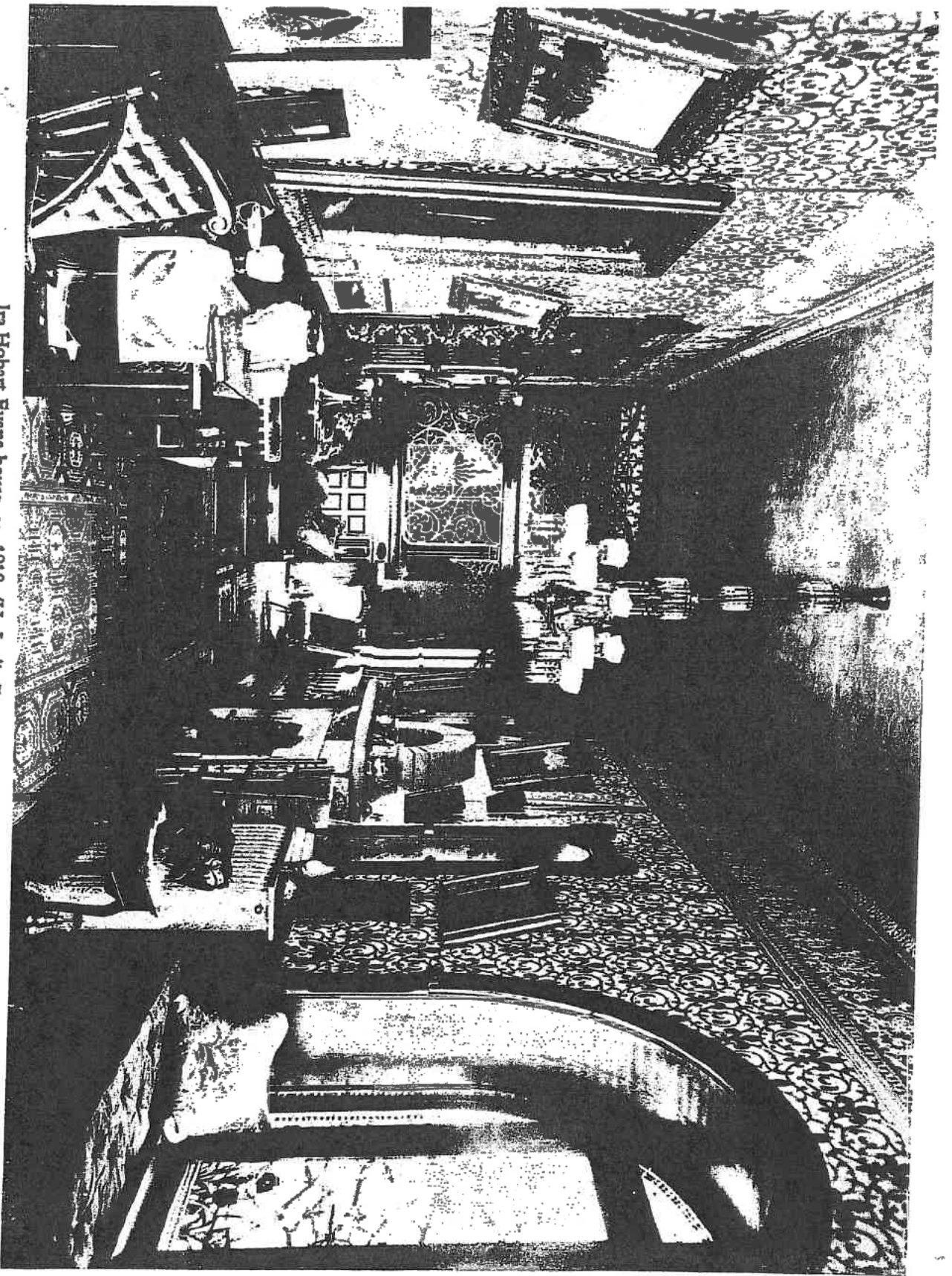








Ira Hobart Evans house, ca. 1910 (H. Leslie Evans and Institute of Texan Cultures, San Antonio).



**Attachment 3**

**CERTIFICATE OF APPROPRIATENESS FOR CITY DESIGNATED LANDMARKS AND LETTER OF APPROVAL  
FOR STATE DESIGNATED LANDMARKS FALL 2017**

An email with details about the proposed windows restoration project at the North-Evans Chateau was sent on June 30, 2017. If a Certificate of Appropriateness were needed, the email requested that the Austin Woman's Club be notified. No reply has been received.

#### **Attachment 4**

#### **PROJECT BUDGET FALL 2017**

The budget for the Austin Woman's Club is enclosed. In the 2017-2018 budget is an item under receipts showing restoration funds of \$100,000. Although it is desirable to have some money saved to cover emergency restoration, funds of \$60,000 are available to match the amount requested in this grant application.



Austin Woman's Club, Budget, 2017-2018		Approved, June 8, 2017
<b>RECEIPTS</b>		<b>COMMENTS</b>
Boutique	500	
Club Activities/social	14,000	includes wine dinners
Dining Room	230,000	
Donations	10,000	includes chairs
Donations Restoration	5,000	
Donations to Staff	7,500	
Dues	75,000	
Emergency Contingency Fund	250	late fees
Fundraising Events	15,000	
Grants	50,000	
Interest Income	300	
JAWC	1,000	
Miscellaneous	5,000	
Nighttime Parking Lot	19,000	
Piano	6,000	held over
Special Events	330,000	includes weddings
Transfer Funds for Restoration	100,000	
Transfer Funds from Operating	124,770	
<b>TOTAL INCOME</b>	<b>993,320</b>	
<b>DISBURSEMENTS:</b>		
Advertising/Public Relations	15,200	publications, open house web
Archive	500	
Building	80,000	
Club Activities/Social	12,000	Pres. Lunch, wine dinners, holiday
Communications	3,000	yearbook, newsletters, bulk mail
Credit Card Fees	7,000	
Donations to Staff	7,500	
Fine Arts Committee	3,000	
Food Purchases	175,000	
Fund Raising Special Events	5,000	
Grants	2,000	
Grounds	8,000	
House, General	45,000	
Insurance	60,000	
Laundry and Linen	20,500	
Legal Fees	5,000	
Membership Committee	150	
Payroll	284,000	
Piano	300	tuning
Professional Fees	15,000	
Professional Memberships	500	
Restoration	100,000	
Special Events with JAWC	500	
Special Projects	25,000	
Strategic and Long Range Planning Com.	500	
Supplies, Office, Printing	3,800	
Taxes, Payroll	22,720	
Telephone/Utilities/Recycling	52,000	
Temporary Services	40,000	
Tours & Docents	150	
<b>TOTAL EXPENSES</b>	<b>993,320</b>	

**Attachment 5**

**THREE COMPETITIVE BIDS FOR THE PROJECT FALL 2017**

# LEEDS CLARK

**Historic Preservation & Consulting**

3010 Shady Grove Rd.

Midlothian, Texas 76065

(972) 775-3843 Fax: (972) 775-3263

June 28, 2017

Mr. John Volz, AIA, LEED AP  
VOH Architects  
1105 West 42<sup>nd</sup> St.  
Austin, TX 78756

John:

Attached is our summary proposal pricing for the wood window restoration of the Austin Woman's Club Building in Austin, TX. The pricing is based on the revised scope of work dated 6/26/17 based on your revised survey during the month of May of this year. I have read through the scope of work along with product data and understand that you have based the base pricing on the window schedule for the forty (40) worse windows as far as conditions listed in the legend.

Our proposal budget is based on a turn-key proforma pricing for the wood windows including jambs, sashes, glazing, painting and exterior sealants from the inside stop trim of the wood jambs outward. No allocation has been made for interior trim-out on the interior, or interior painting of the window casing trim, stools, or aprons. Lift equipment is budgeted into the proposal, but no permits such as barricading the sidewalk, etc....

There is a listed contingency allocation that should be added to the pricing due to some limited unseen conditions and related to the total replacement of components in lieu of Dutchman repair, such as lower side jamb repair near the sill level. The glass replacement numbers are based on the listed details of your plans, but unless the sashes are chemically dipped to protect the historic glass (excluding leaded glass), there will most certainly be additional collateral damage to historic glass. So we have listed the square foot replacement cost for the "restoration lite" glass specified and obtained from Hollander Glass of Houston, TX.



### Proposal

Material and labor as described in revised plans and specifications for forty window units selected by John Volz and totaled per request. \$ 136,400.00  
(This number has a \$ 5,000.00 contingency added in)

No allocations for ACM or Lead Paint Abatement, however EPA Renovator Guidelines for lead paint and precautions are included which do not require third party monitoring.

Any additional historic cylinder or blown glass loss that requires "restoration lite" replacement glass will be billed at the rate of \$39.00 per square foot.

The above pricing is a total pricing with includes material and labor as described, as well as staging equipment, insurance, travel and lodging expense. No OH&P has been added to this amount, which currently runs sixteen percent (16%) of total. Add \$ 21,824.00 **Total submission: \$ 158,224.00**

**Alternate #1: Add or delete per unit cost: \$ 3,460.00 ea. plus 16% OH&P**

**Alternate #2: Temporary glazed unit at locations designated by Architect - \$ 485.00 each**

Should you have any questions, please feel free to call.

Regards,



Thomas L. Clark – President  
Leeds Clark, Inc.

# *Restorhaus, LP*

4501 Private Road 6310  
Lubbock, Tx. 79415  
806-687-4787(office) 806-214-0221 (Fax)

**AUSTIN WOMAN'S CLUB  
VOH ARCHITECTS  
JUNE 28, 2017  
SCOPE AND BID ON WINDOW RESTORATION**

**WINDOW RESTORATION**

- 1. ALL WORK AS PRESCIBED AND DETAILED PER WINDOW, SCREEN,  
AND BLIND REPAIR NOTES PREPARED BY VOH ARCHITECTS**
- 2. TOTAL OF 40 UNITS**

**TOTAL \$126,000.00**

**PER UNIT ADDS AND DEDUCTS**

- 1. PROVIDE AND INSTALL TEMPORARY SASH/GLAZING UNIT AT  
LOCATIONS NOTED. THIS IS NOT INCLUDED IN BASE BID  
TOTAL ADD OR DEDUCT PER UNIT \$425.00**
- 2. ADD OR DELETE WINDOW UNIT RESTORATION PER EACH  
TOTAL ADD OR DEDUCT PER UNIT \$3,150.00**

**THANK YOU  
RICHARD OBENHAUS  
RESTORHAUS LP  
OFFICE 806-687-47878  
CELL 806-787-7206**



*~ Wood Windows, Doors, & Fine Wood Working ~*

**July 1, 2017**

**Window Restoration Proposal for: Austin Women's Club**

**Restoration Methodology and Scope of Work:** See General Scope of Repair and "Specific Window Notes" provided by VOC Architects;

Scope will vary by window and window type. Sashes and stop will be removed and transported to the RRR shop in Austin. The current blinds/shutters will be removed at this time, labeled and stored onsite. The openings will be sealed using plywood, except where noted. Once sashes are removed the window jambs will be thoroughly examined. Window jamb and sill repairs will be done onsite. Jamb/sill prep and paint will be completed while sashes are removed. In the shop, sashes and stop will be placed in a steam oven to remove all paint and glazing; then sanded, primed, painted, glazed. Sash repairs are made at this time. A borate based preservative (Boracare) will be applied to all bare wood prior to paint application. This will minimize the risk of future rot or pest damage to the wood. Sashes will be installed with some new parting bead and original inner stop, except where new is required. Jamb and brick mold will be painted. Brick mold will be resealed. Brick mold will be replaced where needed. Interior trim painting, staining is not included in this scope. Existing sash cord will be replaced, except where it seems sound. Only bottom sash will function where they currently function.

Window #	Notes	Price
#001	3 Small DH Windows	\$3000
#002	Kitchen DH Window	\$2500
#003	Kitchen DH Window	\$2500
#004	Kitchen Opening	\$2000
#008	Office Casement	\$1500
#010	Sunroom DH	\$2200
#011	Sunroom DH	\$2200
#012	Sunroom DH	\$2200
#013	Sunroom DH	\$2200
#103	Library DH Window	\$2500
#104	Library DH Window	\$3500
#105	Bathroom DH	\$2700
#106	Bathroom DH	\$3000
#107	Bathroom DH	\$2700
#109	Stair Hall Casement	\$1500
#110	Mail Hall Casement	\$1500
#111	Mail Hall Casement	\$1500
#112	Mail Hall Casement	\$2500
#113	East Parlor Ext Access Only	\$3000 = 44,700



#18	Sun Porch DH Window	\$2000
#19	Sun Porch DH Window	\$2000
#20	Sun Porch DH Window	\$2000
#21	Sun Porch DH Window	\$2000
#22	Sun Porch DH Window	\$2000
#23	Sun Porch DH Window	\$2000
#24	Sun Porch DH Window	\$2000
#25	Sun Porch DH Window	\$2000
#26	Library DH Window	\$2500
#27	Library DH Window	\$2500
#200	West Bedroom DH Window	\$2500
#201	West Bedroom DH Window	\$2500
#202	Bathroom DH Window	\$2700
#203	Bathroom DH Window	\$3000
#204	Bathroom DH Window	\$2700
#205	Hallway DH Window	\$2500
#206	Hallway DH Window	\$2500
#207	East Bedroom DH Window	\$2500
#210	East Bedroom DH Window (AC)	\$3000
#211	Hall Window	\$2000
#212	West Bedroom	\$2000
<b>Lump Sum Total:</b>		<b>\$93,600</b>

**Notes:**

- No Temporary Replacement sashes included above. Add \$250 per sash as desired
- Replacement sash lock hardware – see:
- For Payment and Performance Bond add 3% to overall total

**Red River Restorations**  
**John Hindman, 512-761-1984**  
**2039 Airport Blvd, Austin, TX 78722**  
[www.redriverrestorations.com](http://www.redriverrestorations.com)

## **Attachment 6**

### **PROJECT SCHEDULE FALL 2017**

When the amount of money awarded in the grant is determined, restoration activities will begin as soon as the chosen firm can schedule the work. That start will be within a month of the date of the awarding of the grant. Given that the age of the windows is well beyond 100 years, the conditions of the windows make it difficult to specify the exact time of completion.

**Attachment 7**

**PROOF OF OWNERSHIP FALL 2017**



ATTACHMENT 7: PROOF OF OWNERSHIP

THE STATE OF TEXAS, I

COUNTY OF TRAVIS. I

WHEREAS, by deed dated November 5, 1929, W. Leslie Evans and Wilber H. Young, Individually and as Independent Executors of the Estate of Francese A. H. Evans, Deceased, Hobart Y. Evans, and Francis H. Evans, conveyed to Austin Woman's Club, a part of Block No. Seventy-nine (79) in the City of Austin, in Travis County, Texas, fully described in said deed, which is duly recorded in the Deed Records of Travis County, Texas, in Book 443, at page 305, and for part of the consideration agreed to be paid for said property, the said Austin Woman's Club made, executed and delivered to W. L. Evans and Wilber H. Young, Independent Executors of the Estate of Francese A. H. Evans, Deceased, its series of sixteen (16) promissory notes of even date with said deed, numbered 1 to 16 inclusive, in amounts and payable as recited in said deed, and to secure the due payment of said notes the vendor's lien was expressly retained in said deed;

AND, WHEREAS, by instrument dated December 30, 1930, said notes Nos. 9 to 16 inclusive, together with the vendor's lien securing the same, were by the owners and holders thereof transferred and assigned to the undersigned, Nella T. Evans;

AND, WHEREAS, the said Austin Woman's Club has paid the said notes so assigned to the said Nella T. Evans, in full, principal and interest, and at the date of their payment they were the property of the undersigned, Nella T. Evans;

NOW, THEREFORE, in consideration of the premises and the full and final payment of said notes, I, the said Nella T. Evans, a feme sole, the legal and equitable owner and holder thereof, hereby release the said land and premises from the vendor's lien retained in said deed to secure the payment of said notes, and here declare said notes and said lien fully satisfied.

WITNESS MY HAND, this the 31st day of May, A.D. 1938.

*Nella T. Evans*

**Attachment 8**  
**INSURANCE FALL 2017**



AUSTWOM-01 JROBINSON

## CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

11/14/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Guaranty Insurance Services, Inc / INSURICA 9600 Great Hills Trail Dr. Suite 225W Austin, TX 78759	<b>CONTACT NAME:</b> Jody Robinson, CIC, CISR, ACSR	
	<b>PHONE (A/C No. Ext.):</b> (512) 381-8371 <b>FAX (A/C No.):</b> (866) 652-9367	
	<b>E-MAIL ADDRESS:</b> Jody.Robinson@INSURICA.com	
<b>INSURED</b>  Austin Woman's Club, Inc. 708 San Antonio Austin, TX 78701	<b>INSURER(S) AFFORDING COVERAGE</b>	<b>NAIC #</b>
	<b>INSURER A:</b> Southern Insurance Company	19216
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

## COVERAGES

## CERTIFICATE NUMBER:

## REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR (REQ) WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		CMP5586086	11/01/2016	11/01/2017	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPROP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		CMP5586086	11/01/2016	11/01/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		UMB5586088	11/01/2016	11/01/2017	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A	WC5586087	11/01/2016	11/01/2017	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

## CERTIFICATE HOLDER

## CANCELLATION

FOR INSURANCE PURPOSES ONLY

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Randall D. Stewart

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**Attachment 9**

**PLANS AND SPECIFICATIONS OF PROPOSED WORK FALL 2017**

On the next page is a detailed description prepared by historic architect John Volz.

VOH Architects performed a condition survey of the 61 windows at the Austin Woman's Club on May 29 and 30, 2017. Almost all are weathered and deteriorating. Many have sagging bottom rails and all need re-glazing. Seventeen have actively rotting components and two have old termite damage.

Typical conditions include the following:

- Glazing putty is severely deteriorated on most windows, doors, and transoms and no longer keeps water from reaching wood muntins and rails. As a result, coatings are deteriorated, exposed wood is badly checked or rotting, and sash joints are failing.
- Applied glazing stops are warped and not longer keep water from reaching wood. As a result, coatings are deteriorated, exposed wood is badly checked or rotting, sash joints are failing, and stops are rotting.
- Exterior paint is peeling, both from exposure and deteriorated glazing putty. Exposed wood is badly checked or rotting, and sash joints are failing. Interior finishes are deteriorated at some locations, particularly at rails, and on the ground floor where wood is stained.
- Wood sills (window, door, transom) are deteriorating. Paint is peeling and exposed wood is weathered, checked, and/or rotting. Several wood sills are termite damaged.
- Wood frames are deteriorating. Paint is peeling, exposed wood is weathered, checked, and/or rotting. Frame conditions are most severe adjacent to sills.
- A number of the window screens are deteriorating and some of the hangers are missing or broken.
- Glass in several windows is cracked and needs to be replaced.
- All glass needs to be cleaned.
- At most locations window hardware is worn, missing, loose, corroded, and/or broken. Some windows have no sash locks. The sash cords at most windows are broken (this may not be an issue since the windows are not opened).
- Windows with air conditioning units exhibit water and structural damage, particularly if the units are not braced to the walls. Condensate from the units has caused water damage to the sills and jambs at select locations. Accordion panels do not fit well at some locations and allow significant air leakage. Gaps between upper and lower sash are not sealed, allowing significant air leakage.

The intent of this project is to repair/restore as many of these windows as funding allows. The scope of work will be as follows:

Window sash, transoms, and screens will be removed to allow repair of frames and sills. Window air conditioning units also will be removed. Each element (sashes, glass, screens, hardware) will be numbered prior to removal so it can be reinstalled in its original location after restoration. Screens will be delivered to the AWC for storage and future restoration. After sash and air conditioning removal, the openings will be protected for building security and to keep water out. As necessary to minimize disruption to Club activities, the work will be phased by area.

Typical repairs will include removal of paint from areas needing repair, epoxy consolidation of weathered, checked or lightly rotting wood, epoxy filling of checks, holes, and rot eroded wood, repair/replacement of damaged/missing elements (muntins, panels, and rails), disassembly and reassembly of sash to close and reinforce weak joints, sanding, preparation for re-glazing (priming), cleaning glass, reinstallation of glass and glazing putty, and second priming. Several of the severely deteriorated sash will be replaced with new sash that match the original.

During this process, the frames and sills will be restored and painted. Also, hardware will be cleaned and repaired as needed. Missing elements will be replaced. Repaired hardware will be reinstalled in its original location once the restored sash and transoms are back in their original locations.

Bids are being obtained for repair of 40 windows, but, due to limited funding, it is anticipated that only 19 of the most severely deteriorated windows will be repaired at this time.



# Austin Woman's Club - Window Repair

## Window, Screen, & Blind Repair: General Scope Work

The full scope of repair and rehabilitation for the Austin Woman's Club windows, screens, and exterior blinds is outlined below. This includes: the General Scope of Repair; Specific Notes identifying unique conditions observed at each window; and Recommended Techniques, Materials and Products. The General Scope of Repair is applicable to all windows. The Specific Window Notes are conditions applicable to the individual windows. Window numbers in **BOLD** are those windows to be included in the base bid. Other windows will be added as funding allows.



Exp.

5/29/18

6/26/17

### GENERAL SCOPE OF REPAIR

#### General Notes:

1. Conditions as noted were surveyed in May, 2017. Contractor to review current scope of repairs and shall document conditions that are different from those noted and notify Architect of those changes in writing. Contractor to field verify all dimensions, and shall identify trim and components beyond those specifically noted for repair that cannot be brought to an acceptable level of restoration.

#### Removal of Historic Material & Glass:

2. Number and remove interior shutters, screens, hardware, and sashes from frames, and salvage for re-installation. Prepare numbered hardware for cleaning and reinstallation in original location. Where noted on schedule, provide and install new hardware. Remove interior stops, parting or exterior stops only as needed. Protect all openings from weather with plywood and plastic sheeting. As noted on schedule, provide and install temporary protective sash at select window locations. Historic sash pulleys and spring balances to remain. Except as noted on schedule, screens are to be numbered, removed and delivered to Owner for future reinstallation.
3. Take special care to protect historic glass and stained/leaded glass from damage. Remove all existing glazing putty by carefully scraping and softening with infrared heat-gun. Remove and label original glass and stained/leaded glass with window number, orientation and exposure for reinstallation in original locations. Store glass in secure location during restoration. Remove and discard glass that is broken or indicated to be replaced.

#### Window Air Conditioners:

4. Number and carefully remove window air conditioning units, drip pans, supports, and related elements. Disconnect drainage piping and cap. Clean units, replace filters, and store at location in building approved by Owner.
5. At completion of window restoration, reinstall window air conditioning units, drip pans, drainage piping, and related elements. Provide and install additional bracing/support as noted. Provide and install painted insulated filler panels and stops as noted. Confirm that

## Austin Woman's Club - Window Repair

condensation is collected in drip pans, drains properly, and does not drip onto restored window elements or walls.

### Sash, Frame & Trim Repair:

6. Submit full size samples of all reproduction molding profiles to be used in repairs. All new wood shall be date stamped on the backside, with "installed" and current year, prior to final installation.
7. Remove and discard all extraneous interior and exterior hooks, nails, screws and hardware not scheduled for reuse. Remove and dispose of all sealants. All dents and holes, etc. in window sash, frame, sill, stool or stops, or exterior trim shall be repaired to like new condition. Fill splintered holes and dents with epoxy wood filler; holes larger than 3/8-inch in diameter shall be repaired with a doweled or rectangular dutchman repair of matching species, grain alignment and density of historic wood. Plane and sand to flush and invisible patch upon finishing.
8. Sash repair: Repair and re-glue all loose joins. Repair and "re-square" sash members to fit properly within frame. Provide and install new muntins where noted or where existing cannot be repaired. Epoxy repair any repairable sash components including muntins, rails and stiles. Replace severely warped or twisted sash rails and muntins that will prohibit smooth operation of the window or prohibit re-glazing the sash. All new components to match original in profile and wood species.
9. Existing window frames to remain in place. Repair all existing stops and install new stops as noted, provide dutchman and epoxy repairs as needed. Epoxy consolidate frames as noted. Replace rotted/termite damaged sills as noted.
10. Remove existing finishes to bare wood at locations requiring repairs. Do not damage the wood or wood profile.
11. Checked/weathered wood:
  - Weathered Wood: Strengthen and stabilize stripped wood using liquid consolidant epoxy per specification. Sand smooth to uniform surface plane.
  - Checked Wood: Saturate the wood surface with brush applied consolidant. Fill checks with epoxy wood filler pressed into checks. Allow to cure and sand filler flush with adjacent surface to uniform surface plane matching original surface and profile.
12. Rotted/termite damaged wood:
  - Epoxy Patch: Strengthen and stabilize stripped wood using liquid consolidant epoxy per specification. Then fill holes and deteriorated wood with epoxy patching compound and sand. Use epoxy compounds to build up missing or damaged parts of members, duplicate existing profiles. Sand patch smooth to uniform surface plane matching original surface and profile.
  - Wood Replacement: Remove and discard damaged portion and cut and fit in a matching portion. Where wood is damaged beyond practical repair by the indicated



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Repair/Recondition

20. Remove dirt

21. Recondition

Lubricate

22. Provide and

23. Reinstall hard

## Austin Woman's Club - Window Repair

method, Contractor may elect with approval of Architect to remove the entire part and provide a new matching part. Where portions are indicated to be removed and new portions provided, the new portion shall be the entire portion. Do not splice members. Where entire members have been removed and new members provided, provide joint reinforcements where new and existing, or two new, members join. Retain and match existing woodwork joinery configurations adapting only as required to incorporate joint reinforcements and adhesive.

### Preparation & Finish

13. Carefully scrape and sand paint/finish to "sound and tight" condition. Strip sash elements, sills, and trim as required for repair. After completion of repairs, scrape and prepare all window components for finish. Prime/seal sash muntin rabbets prior to reglazing.
14. Prime and paint exterior sash and trim. Finish interior face of sash and stops to match existing.

### Glazing Reinstallation & Replacement

15. After completion of sash repairs, back-bed glazing and reinstall historic glass in original locations and face glaze; tool face glazing straight and smooth, fully adhered to glass and muntin. Provide new restoration glass to replace all broken or cracked pieces of clear glass as noted on schedule. Provide and install new annealed double strength Float Glass to replace all broken or cracked pieces of clear glass as noted on schedule. Provide and install new patterned glass as noted on schedule. Stained and leaded glass is in good condition and does not require any replacement pieces.

### Reinstallation of Sashes

16. Reinstall sashes in original locations.
17. Adjust upper and lower sashes as required for proper fit and alignment of meeting rails.
18. All upper sashes shall be fixed in closed position with sealant and 2" wood blocks or 1" stainless steel angles and tamper-resistant screws. Meeting rails shall be sealed using felt and sealant. Lower sashes shall be operable, except where they are currently fixed. Existing sash cords in good condition may be reused; replaced damaged/missing sash cords with new to match.
19. Replace all sealant at joints and brick molds at frames. Provide and install backer rod to infill gaps if required.

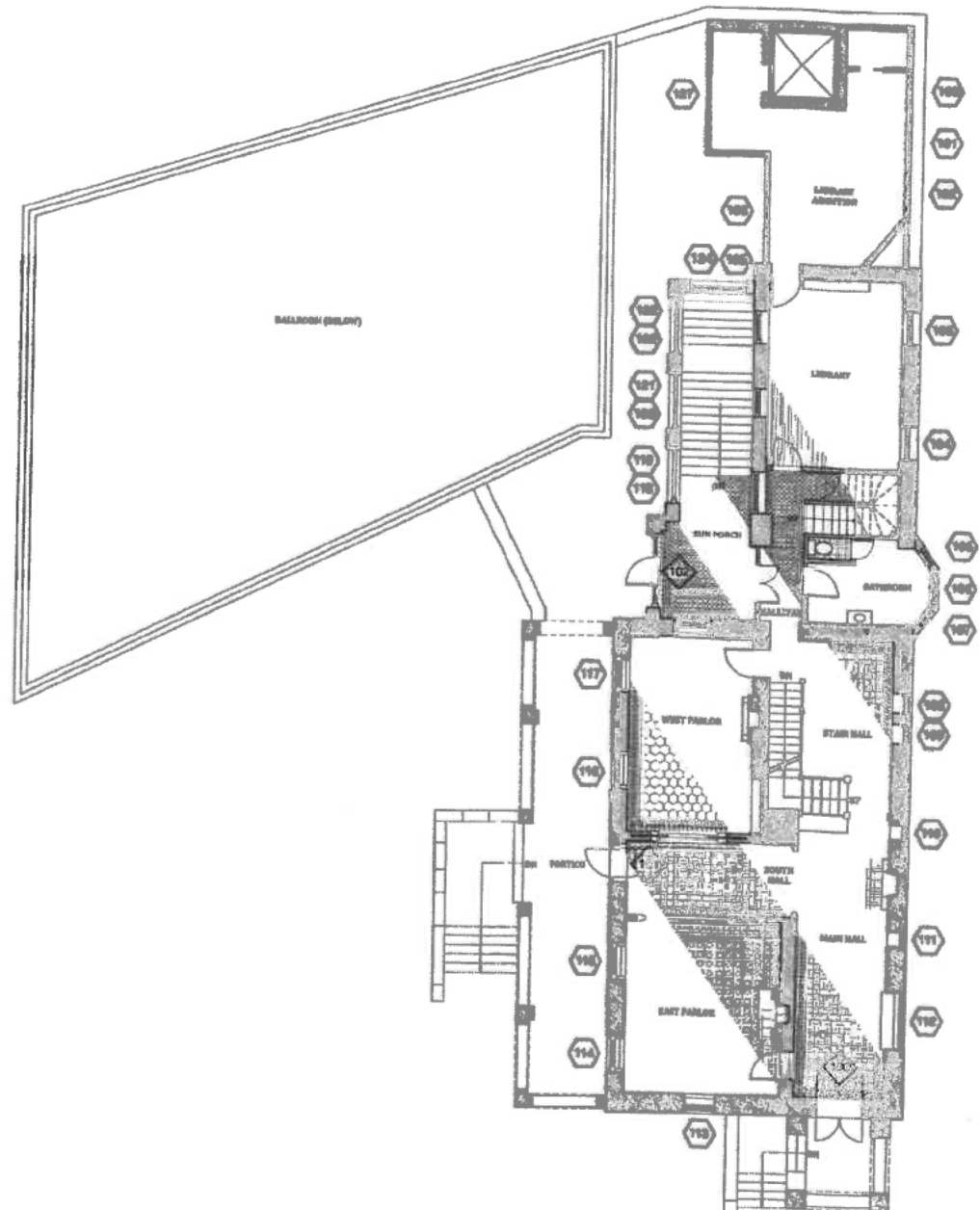
### Repair/Recondition/Replace Window hardware

20. Remove dirt from hardware.
21. Recondition hardware by tightening loose parts and adjust for proper operation. Lubricate moving parts.
22. Provide and install matching new hardware where noted on schedule.
23. Reinstall hardware in original location using existing screws.



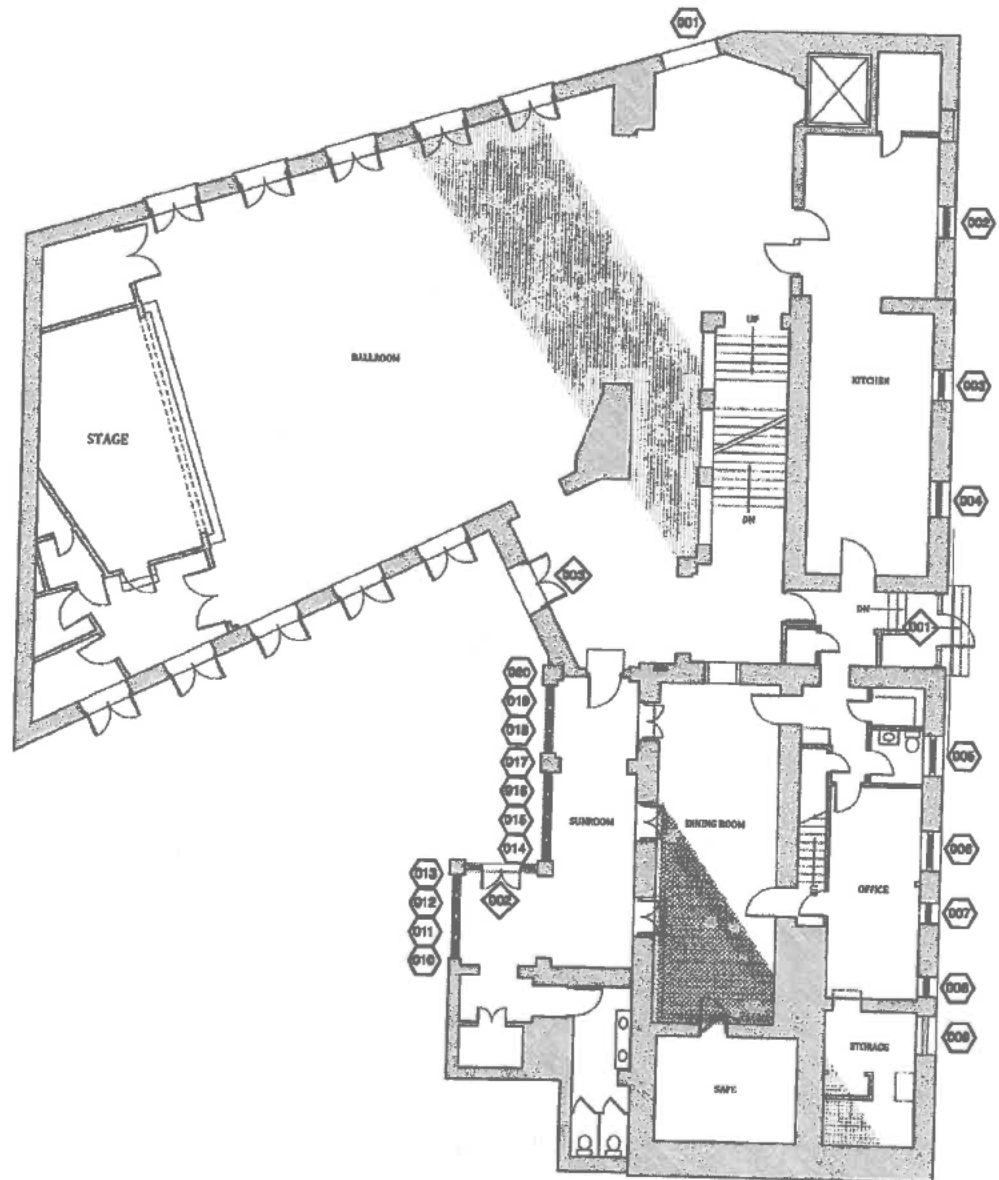
# Austin Woman's Club - Window Repair

## Window & Door Key - Ground Floor Plan



# Austin Woman's Club - Window Repair

## Window & Door Key - Lower Floor Plan



Window & Door Key  
LOWER FLOOR PLAN

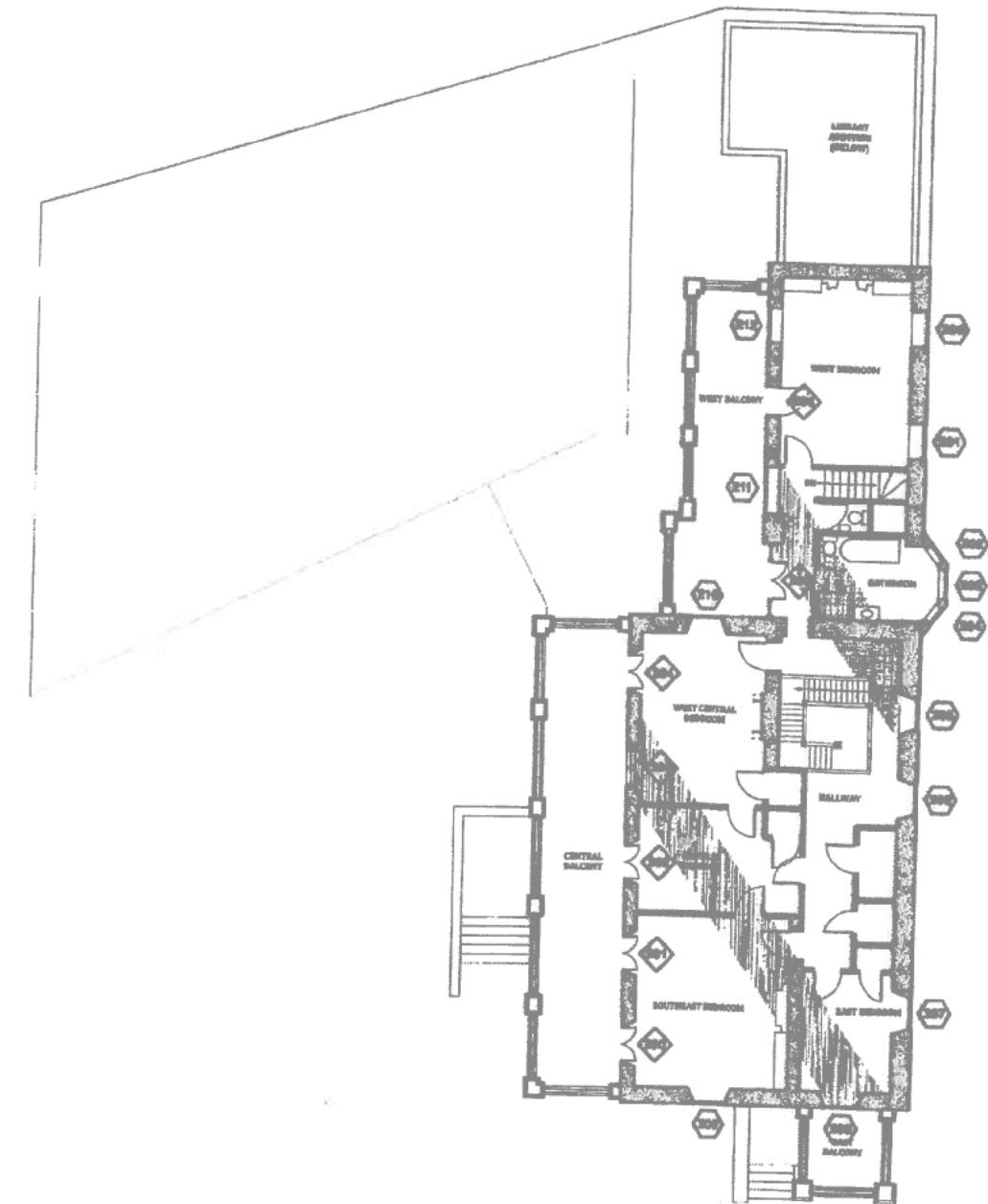
FEET 3/16" = 1'-0"

METERS 1:54

0 1 2 3

# Austin Woman's Club - Window Repair

## Window & Door Key - Second Floor Plan



Window & Door Key  
SECOND FLOOR PLAN  
PLOT 3/26/17  
METERS 1:50

# Austin Woman's Club - Window Repair

## SPECIFIC WINDOW NOTES

### Individual Windows – Lower Floor

#001	Ballroom <ul style="list-style-type: none"><li>• General Repairs</li><li>• Sill</li><li>• Sill</li><li>• Hardware</li></ul>	<u>Notes</u>  Remove nails and patch Epoxy consolidate and repair checks. Existing locks to be cleaned and reinstalled. Spring balances to remain.
#002	Kitchen <ul style="list-style-type: none"><li>• General Repairs</li><li>• Screen</li><li>• Top Sash</li><li>• Hardware</li><li>• Other</li></ul>	<u>Notes</u>  Remove, number, and deliver to Owner Repair/replace muntins. Correct bowing. No lock/no lift. Remove existing interior protective glazing and moldy wood stops. Clean and reinstall in new aluminum frame painted to match adjacent surfaces.
#003	Kitchen <ul style="list-style-type: none"><li>• General Repairs</li><li>• Screen</li><li>• Exterior Frame</li><li>• Exterior Frame</li><li>• Top Sash</li><li>• Hardware</li></ul>	<u>Notes</u>  Remove, number, and deliver to Owner Epoxy consolidate west jamb. Repair open joints at frame head. Replace cracked glass (2 lights – Restoration Glass). Clean and reinstall existing painted lock.
#004	Kitchen <ul style="list-style-type: none"><li>• General Repairs</li><li>• Exterior Frame</li><li>• Exterior Frame</li><li>• Exterior Frame</li><li>• Sill</li><li>• Sheet Metal Infill</li><li>• Hardware</li><li>• Other</li></ul>	<u>Notes</u>  Epoxy consolidate/repair lower jambs at sill. Remove abandoned hardware, patch and paint. Patch upper east edge. Epoxy repair/replace rotting sill. Paint No lock/no lift. No sash – infilled for exhaust fan duct.
#008	Office <ul style="list-style-type: none"><li>• General Repairs</li><li>• Bars</li><li>• Exterior Frame</li><li>• Screen</li><li>• Casement</li><li>• Hardware</li></ul>	<u>Notes</u>  Clean and paint. Epoxy consolidate and repair rotting head. Epoxy consolidate and repair joints of screen. Weatherstrip. Clean and reinstall casement lock and hinges. Provide and install new ball tips where missing and/or new pins with ball tips to match.
#010	Sunroom <ul style="list-style-type: none"><li>• General Repairs</li><li>• Exterior Frame</li><li>• Exterior Frame</li><li>• Sill</li><li>• Sash</li><li>• Transom</li><li>• Hardware</li><li>• Other</li></ul>	<u>Notes</u>  Epoxy consolidate and patch jamb. Remove and replace sealant; paint. Epoxy consolidate. Fixed in place. Fixed in place. None. Provide and install temporary glazing unit.



# Austin Woman's Club - Window Repair

- #011 Sunroom**
- General Repairs
  - Exterior Frame
  - Sill
  - Sash
  - Transom
  - Hardware
  - Other

## Notes

Remove and replace sealant; paint.  
Epoxy consolidate.  
Fixed in place.  
Fixed in place.  
None  
Provide and install temporary protective sash.

- #012 Sunroom**
- General Repairs
  - Exterior Frame
  - Sill
  - Sash
  - Transom
  - Hardware
  - Other

## Notes

Remove and replace sealant; paint.  
Epoxy consolidate.  
Fixed in place.  
Fixed in place.  
None.  
Provide and install temporary protective sash.

- #013 Sunroom**
- General Repairs
  - Exterior Frame
  - Exterior Frame
  - Sill
  - Sash
  - Transom
  - Hardware
  - Other

## Notes

Replace rotted jamb and head.  
Remove and replace sealant; paint.  
Epoxy consolidate.  
Fixed in place.  
Fixed in place.  
None.  
Provide and install temporary protective sash.

## Individual Windows – Ground Floor

- #103 Library**
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Hardware
  - Interior Finish

## Notes

Epoxy consolidate and repair.  
Epoxy consolidate and repair.  
Replace lower rail and epoxy consolidate adjacent wood.  
Replace to match top sash.  
Provide and install Replacement Historic Sash Lock.  
No sash lift.  
Stained.

- #104 Library**
- General Repairs
  - Exterior Frame
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Top Sash
  - Hardware
  - Window A/C
  - Interior Finish

## Notes

Epoxy consolidate and repair jambs.  
Epoxy repair east jamb.  
Epoxy consolidate and repair.  
Replace to match top sash.  
Reset.  
Clean and reinstall existing lock. No lift.  
Reinstall with secure wall/sill support and insulated filler panels.  
Stained.

- #105 Bathroom**
- General Repairs
  - Screen
  - Bottom Sash

## Notes

Number, remove, and deliver to Owner.  
Repair open stile and rail joints.

## Austin Woman's Club - Window Repair

	<ul style="list-style-type: none"> <li>• Top Sash</li> <li>• Top Sash</li> <li>• Hardware</li> <li>• Other</li> </ul>	<p>Repair open stile and rail joints and adjust for proper fit with top rail of bottom sash.</p> <p>Replace clear center glass with new Patterned Glass to match glass at bottom sash.</p> <p>Clean and reinstall existing lock. No lift.</p> <p>Provide and install temporary protective sash.</p>
#106	<p>Bathroom</p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> </ul> <ul style="list-style-type: none"> <li>• Top Sash</li> </ul> <ul style="list-style-type: none"> <li>• Hardware</li> <li>• Other</li> </ul>	<p><u>Notes</u></p> <p>Epoxy consolidate and repair bottom rail.</p> <p>Repair open stile and rail joints.</p> <p>Remove reinforcing metal at bottom rail.</p> <p>Repair/replace bottom rail and adjust for proper fit with top rail of bottom sash.</p> <p>Replace clear center glass with new Patterned Glass to match glass at bottom sash.</p> <p>Clean and reinstall existing lock. No lift.</p> <p>Provide and install temporary protective sash.</p>
#107	<p>Bathroom</p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Screen</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> </ul> <ul style="list-style-type: none"> <li>• Top Sash</li> </ul> <ul style="list-style-type: none"> <li>• Hardware</li> </ul> <ul style="list-style-type: none"> <li>• Other</li> </ul>	<p><u>Notes</u></p> <p>Number, remove, and deliver to Owner.</p> <p>Epoxy consolidate and repair bottom rail.</p> <p>Repair open stile and rail joints.</p> <p>Provide and install new sash lock to match historic.</p> <p>Repair open stile and rail joints and adjust for proper fit with top rail of bottom sash.</p> <p>Replace clear center glass with new Patterned Glass to match glass at bottom sash.</p> <p>Provide and install Replacement Historic Sash Lock to match existing. No lift.</p> <p>Provide and install temporary protective sash.</p>
#109	<p>Stair Hall</p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Screens</li> </ul> <ul style="list-style-type: none"> <li>• Exterior Frame</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Casements</li> <li>• Casements</li> <li>• Casements</li> <li>• Hardware</li> <li>• Interior Finish</li> </ul>	<p><u>Notes</u></p> <p>Adjust mounting to provide clearance between sash bottom and sill. Screen to remain</p> <p>Epoxy consolidate lower jambs.</p> <p>Seal open edge of metal stop.</p> <p>Epoxy consolidate.</p> <p>Epoxy consolidate lower rails.</p> <p>Repair open stile and rail joints.</p> <p>Provide and install weatherstripping at sill.</p> <p>Clean and reinstall existing.</p> <p>Stained.</p>
#110	<p>Main Hall</p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Protective Glazing</li> <li>• Protective Glazing</li> <li>• Exterior Frame</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Transom</li> <li>• Hardware</li> <li>• Interior Finish</li> </ul>	<p><u>Notes</u></p> <p>Adjust glass to provide venting.</p> <p>Epoxy consolidate and repair west stile.</p> <p>Epoxy consolidate lower jambs.</p> <p>Replace and paint sealants.</p> <p>Replace (termite damaged).</p> <p>Epoxy consolidate transom sill and adjacent frame.</p> <p>Clean and reinstall existing.</p> <p>Stained.</p>
#111	<p>Main Hall</p> <ul style="list-style-type: none"> <li>• General Repairs</li> </ul>	<p><u>Notes</u></p>

## Austin Woman's Club - Window Repair

- Protective Glazing
- Exterior Frame
- Exterior Frame
- Sill
- Transom
- Hardware
- Interior Finish

Adjust glass to provide venting.  
Epoxy consolidate lower jambs.  
Replace and paint sealants.  
Epoxy consolidate.  
Epoxy consolidate transom sill and adjacent frame.  
Clean and reinstall existing.  
Stained.

- #112 Main Hall
- General Repairs
  - Protective Glazing
  - Protective Glazing

### Notes

Adjust glass to provide venting.  
Replace missing half-round molding to match existing.  
Epoxy consolidate lower jambs.  
Replace and paint sealants.  
Epoxy consolidate transom sill and adjacent frame.  
Clean and reinstall existing.  
Stained.

- Exterior Frame
- Exterior Frame
- Transom
- Hardware
- Interior Finish

- #113 East Parlor
- General Repairs
  - Frame
  - Sill
  - Bottom Sash
  - Other

### Notes

Replace missing stops.  
Epoxy consolidate and repair.  
Replace cracked glass – Restoration Glass.  
Sash are accessible from exterior only. Replace missing cap on exterior metal grill.

- #118 Sun Porch
- General Repairs
  - Exterior Frame
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Top Sash
  - Transom (#118 & #119)
  - Hardware

### Notes

Remove and replace sealant; paint.  
Replace missing stops.  
Epoxy consolidate.  
Epoxy consolidate bottom rail.  
Repair stile/rail joints.  
Remove nails and patch.  
Epoxy consolidate and repair bottom rail.  
Repair stile/rail joints.  
Reset separating trim.  
Clean and reinstall existing.

- #119 Sun Porch
- General Repairs
  - Exterior Frame
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Top Sash
  - Transom (#118 & #119)
  - Hardware

### Notes

Remove and replace sealant; paint.  
Replace missing stops.  
Epoxy consolidate.  
Epoxy consolidate bottom rail.  
Repair stile/rail joints.  
Remove nails and patch.  
Epoxy consolidate and repair bottom rail.  
Repair stile/rail joints.  
Reset separating trim.  
Clean and reinstall existing.

- #120 Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash

### Notes

Remove and replace sealant; paint.  
Epoxy consolidate.  
Epoxy consolidate lower rail.  
Epoxy repair stile/rail joints.

## Austin Woman's Club - Window Repair

- Top Sash
- Top Sash
- Top Sash
- Transom
- Hardware

Epoxy consolidate lower rail.  
Repair/replace bowed lower rail.  
Epoxy repair stile/rail joints.  
Epoxy consolidate and repair trim at sill.  
Clean and reinstall existing.

### Notes

Remove and replace sealant; paint.  
Epoxy consolidate and repair check.  
Epoxy consolidate lower rail.  
Epoxy repair stile/rail joints.  
Epoxy consolidate lower rail.  
Epoxy repair stile/rail joints.  
Epoxy consolidate and repair trim at sill.  
Clean and reinstall existing.

- #121** Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Transom
  - Hardware

### Notes

Epoxy consolidate and repair.  
Epoxy consolidate and repair.  
Epoxy consolidate stiles.  
Epoxy consolidate and repair and reset or replace bottom rail.  
Epoxy consolidate and repair bottom rail.  
Close/repair open joints.  
Replace cracked glass – Clear Glass.  
Clean and reinstall existing.

- #122** Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Top Sash
  - Transom (#122/#123)
  - Transom (#122/#123)
  - Transom (#122/#123)
  - Hardware

### Notes

Epoxy consolidate and repair.  
Epoxy consolidate and repair.  
Epoxy consolidate stiles.  
Replace cracked glass – Clear Glass.  
Epoxy consolidate bottom rail.  
Epoxy consolidate and repair bottom rail.  
Close/repair open joints.  
Clean and reinstall existing.

- #123** Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Transom (#122/#123)
  - Transom (#122/#123)
  - Hardware

### Notes

Epoxy consolidate and repair jambs.  
Epoxy consolidate and repair.  
Epoxy consolidate bottom rail.  
Epoxy consolidate bottom rail.  
Reset displaced trim.  
Replace missing pieces of quarter round stop.  
Clean and reinstall existing.

- #124** Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Top Sash
  - Transom (#124/#125)
  - Transom (#124/#125)
  - Hardware

### Notes

Epoxy consolidate and repair jambs.  
Epoxy consolidate and repair.  
Epoxy consolidate and repair bottom rail.  
Close and repair open joints.  
Epoxy consolidate bottom rail.  
Reset displaced trim.  
Replace missing pieces of quarter round stop.

- #125** Sun Porch
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Transom (#124/#125)
  - Transom (#124/#125)



# Austin Woman's Club - Window Repair

- Hardware

Clean and reinstall existing.

## Notes

Repair/replace stops.  
Epoxy consolidate and repair sill.  
Epoxy consolidate bottom rail.  
Close and repair open joints.  
Replace sealant between glass and sash.  
Epoxy consolidate bottom rail.  
Close and repair open joints.  
Replace sealant between glass and sash.  
Clean and reinstall existing.

## Notes

Replace rotting wood.  
Reseal joint between sash and frame.  
Epoxy consolidate and repair sill.  
Replace sealant between glass and sash.  
Replace sealant between glass and sash.  
Clean and reinstall existing.

- #126 Library Addition
- General Repairs
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Top Sash
  - Hardware

- #127 Library Addition
- General Repairs
  - Exterior Frame
  - Exterior Frame
  - Sill
  - Bottom Sash
  - Top Sash
  - Hardware

## Individual Windows - Second Floor

- #200 West Bedroom
- General Repairs
  - Exterior Frame
  - Sill
  - Sill
  - Bottom Sash
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Top Sash
  - Hardware

## Notes

Remove nail from east jamb and patch hole.  
Epoxy consolidate lower jambs.  
Epoxy consolidate and repair sill.  
Epoxy consolidate and repair/replace bottom rail; reset.  
Repair muntins.  
Repair stile/rail joints.  
Epoxy consolidate and repair/replace bottom rail and adjust for proper fit with top rail of bottom sash.  
Replace broken glass, west side.  
Repair stile/rail joints.  
Provide and install Replacement Historic Sash Lock.  
Clean and reinstall lift.

## Notes

Epoxy consolidate and repair jambs.  
Epoxy consolidate and repair/replace bottom rail.  
Replace cracked glass, west side - Restoration Glass.  
Clean and reinstall existing.

## Notes

Number, remove, and deliver to Owner.  
Epoxy consolidate bottom rail and muntins.  
Reinstall reconditioned sash locks.  
Epoxy consolidate bottom rail and muntins and adjust for proper fit with top rail of bottom sash.  
Replace clear center glass with new Patterned Glass to match glass at bottom sash.  
Clean and reinstall existing sash lock. No lift.

- #201 West Bedroom
- General Repairs
  - Exterior Frame
  - Bottom Sash
  - Top Sash
  - Hardware
- #202 Bathroom
- General Repairs
  - Screen
  - Bottom Sash
  - Bottom Sash
  - Top Sash
  - Top Sash
  - Hardware

## Austin Woman's Club - Window Repair

<p><b>#203 Bathroom</b></p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	<p><u>Notes</u></p> <p>Repair/close open joints.  Epoxy consolidate bottom rail and muntins.  Reinstall reconditioned sash locks.  Epoxy consolidate bottom rail and muntins and adjust for proper fit with top rail of bottom sash.  Replace clear center glass with new Patterned Glass to match glass at bottom sash.  Clean and reinstall existing sash lock. No lift.</p>
<p><b>#204 Bathroom</b></p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Screen</li> <li>• Screen</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	<p><u>Notes</u></p> <p>Provide and install new screen hardware and rehang.  Epoxy consolidate and repair bottom rail.  Epoxy consolidate bottom rail and muntins.  Reinstall reconditioned sash locks.  Epoxy consolidate bottom rail and muntins and adjust for proper fit with top rail of bottom sash.  Replace clear center glass with new Patterned Glass to match glass at bottom sash.  Provide and install Replacement Historic Sash Lock (Salvage existing keeper and deliver to Owner.)  No lift.</p>
<p><b>#205 Hallway</b></p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	<p><u>Notes</u></p> <p>Epoxy consolidate and repair jambs.  Epoxy consolidate and repair.  Epoxy consolidate bottom rail.  Repair/replace bottom rail and adjust for proper fit with top rail of bottom sash. Remove added piece at rail.  Clean and reinstall existing sash lock. No lift.</p>
<p><b>#206 Hallway</b></p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Exterior Frame</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	<p><u>Notes</u></p> <p>Remove existing sealant and replace.  Epoxy consolidate and repair.  Epoxy consolidate and repair or replace.  Replace rotting bottom rail and east stile. Epoxy consolidate adjacent sash elements.  Repair/replace bottom rail and adjust for proper fit with top rail of bottom sash. Remove added piece at rail. At contractor's option, replace existing sash with new matching top sash.  Clean and reinstall existing sash lock. No lift.</p>
<p><b>#207 East Bedroom</b></p> <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Top Sash</li> </ul>	<p><u>Notes</u></p> <p>Epoxy consolidate and repair.  Replace.  Epoxy consolidate and repair/replace rotting bottom rail and east stile. Epoxy consolidate adjacent sash elements.  Epoxy consolidate and repair muntins.  Replace rotting bottom rail and adjust sash for proper fit with top rail of bottom sash.  Epoxy consolidate and repair muntins.</p>

# Austin Woman's Club - Window Repair

	<ul style="list-style-type: none"> <li>• Hardware</li> </ul>	Clean and reinstall existing sash lock and lift.	
#210	West Central Bedroom <ul style="list-style-type: none"> <li>• General Repairs</li> <li>• Window A/C</li> <li>• Exterior Frame</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	Notes  Reinstall with insulated filler panels. Epoxy repair check at south jamb. Remove and replace sealant; paint. Epoxy consolidate and repair. Epoxy consolidate bottom rail. Repair stile/rail joints. Epoxy consolidate bottom rail. Provide and install Replacement Historic Sash Lock. No Lift. Glazed.	
#211	Hall <ul style="list-style-type: none"> <li>• General Repairs.</li> <li>• Exterior Frame</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	Notes  Reset displaced trim at west jamb. Replace missing trim to match at east jamb. Replace rotting bottom rail. Epoxy consolidate adjacent sash elements. Repair/replace damaged muntins. Epoxy consolidate and repair bottom rail. Provide and install Replacement Historic Sash Lock. (Salvage existing keeper and deliver to Owner.) No lift.	
#212	West Bedroom <ul style="list-style-type: none"> <li>• General Repairs.</li> <li>• Exterior Frame</li> <li>• Exterior Frame</li> <li>• Sill</li> <li>• Sill</li> <li>• Bottom Sash</li> <li>• Bottom Sash</li> <li>• Top Sash</li> <li>• Top Sash</li> <li>• Hardware</li> </ul>	Notes  Epoxy consolidate lower jambs. Remove nails and patch holes. Epoxy consolidate. Remove nails and patch holes. Provide and install new sash lift and lock. Repair open stile/rail joints. Reset bottom rail. Repair open stile/rail joints. Provide and install Replacement Historic Sash Lock. (Salvage existing keeper and deliver to Owner.) No lift.	

## Recommended Techniques, Materials & Products

This section discusses recommendations that address the following: the temporary protection of window openings during the repair process; the repair of wood window sash and other wood components; glazing replacement and reinstallation; weather-stripping and sealants; hardware reuse and replacement; and finishes.

### PART 1 – GENERAL

#### 1.1 SUMMARY:

With the completion of the work specified below, it is intended that the condition of indicated windows be as follows:

1. All sash units shall be "as new", all upper and lower sash shall be fixed and sealed to preclude air and water penetration.

## Austin Woman's Club - Window Repair

2. All frames and sills shall be "as new" with all damaged areas replaced or restored, missing elements replaced, surface damage repaired and painted, installation weather-stripped and sealed.

### 1.2 QUALITY ASSURANCE:

- A. Comply with repair guidelines contained in Preservation Briefs number 9, "The Repair of Historic Wooden Windows," published by the U.S. Department of the Interior and available from the Preservation Assistance Division, (202) 343-9573.
- B. Comply with the general requirements for epoxy consolidation and repair of wood contained in Epoxies for Wood Repairs in Historic Buildings, published by the U.S. Department of the Interior and available from the Preservation Assistance Division, (202) 343-9573.
- C. Manufacturer Qualifications: To function as Contractor's Specialist to perform modifications and repairs on historic window sash, employ a specialized firm with not less than five years of previous experience replicating or remanufacturing comparable wood windows.
- D. Installer Qualifications: Restoration work done "in situ" shall be performed by a firm employing persons with successful experience in similar work on not less than two completed previous projects comparable to this project in scope, nature, and complexity. Workmen shall be skilled finish carpenters who are experienced in the type of repair work required.
- E. Wood Window Standard: Comply with NWWDAL.S.2 for standards of performance and fabrication workmanship for wood windows and AWI Section 1000, Custom Grade.
- F. Glazing Standards: Comply with published recommendations of glass product manufacturers and organizations below, except where more stringent requirements are indicated. Refer to these publications for glazing terms not otherwise defined in this Section or in referenced standards.
  1. FGMA Publications: "FGMA Glazing Manual."
- G. Glazier Qualifications: Engage an experienced glazier who has completed glazing similar in material, design, and extent to that indicated for Project with a record of successful in-service performance.
- H. Single-Source Responsibility for Glazing Accessories: Obtain glazing accessories from one source for each product and installation method indicated.

### 1.3 MOCK-UP

- A. Prior to commencing work, prepare sample installation showing indicated repair and restoration procedures on an existing unit. Specific location of unit mock-up shall be as approved by the Architect and shall include representative installations showing the following:
  1. Paint removal.
  2. Sash joint repair.
  3. Repair and reinforcing of warped sash rails.
  4. Epoxy consolidation of wood sill and sash.
  5. Dutchman repair of sash or frame.
  6. Muntin replacement.
  7. Glazing.

### 1.4 PROJECT/SITE CONDITIONS:

- A. Prior to beginning work Contractor shall resurvey windows and determine any additional damage/deterioration. Contractor shall indicate any condition changes on existing window schedule and submit to Architect for evaluation.
- B. Protection of interior floors and other surfaces: Heavy brown paper to protect floors around area of work.



## Austin Woman's Club - Window Repair

- C. Protect landscape: Bind spreading shrubs, and provide barriers to protect trees if necessary.
- D. Remove existing sills, stools, stops, and trim, or portions thereof, where:
  - 1. Indicated or necessary for repair.
  - 2. Identified as damaged beyond repair during examination by Contractor's repair specialist and approved by Architect.
  - 3. Damaged beyond repair during the Work under this Contract.
- E. Sash and interior/exterior stop removal shall be required for all window repairs
- F. Provide temporary window opening protection: Painted OSB plywood nailed to exterior frame; and weatherproof sealant tape as required to provide watertight seal. Where noted on schedule, provide temporary protective sash with clear Coroplast or approved equal.
- G. Field Measurements: Check actual window openings by accurate field measurement before fabrication.
- H. Apply water-based paints only when the temperature of surfaces to be painted and surrounding air temperatures are between 50 deg F (10 deg C) and 90 deg F (32 deg C), unless otherwise permitted by paint manufacturer's painted instructions. Apply solvent-thinned paints only when the temperature of surfaces to be painted and surrounding air temperatures are between 45 deg F (7 deg C) and 95 deg F (35 deg C).

### PART 2 - PRODUCTS

#### 2.1 MATERIALS:

- A. General: Comply with requirements of NWWDAIS.2.
- B. Wood for Opaque Finish: Clear fine-grain pine, to match adjacent material (to be verified by contractor), that has been kiln dried to a moisture content of 6 to 12 percent at time of fabrication and new pine is free of visible finger joints, blue stain, knots, pitch pockets and surface checks.
  - 1. Lumber shall be water-repellent preservative treated after machining in accordance with NWWDAIS.4.
  - 2. Lumber for exterior sill, frame, sash and muntin repair/replacement where required, shall be clear pine, PS 20, Custom grade in accordance with AWI, pressure preservative treated using water borne preservative with 0.25 percent retainage in accordance with AWPA treatment C2.
- C. Wood for "dutchman" repairs of windows and trim: Antique, virgin long-leaf pine; cut and ring density to match adjacent materials.
- D. Epoxy Repair Materials: Approved equal to products of Abatron, Inc., 5501 95th Avenue, Kenosha, WI 53144; Telephone: (262) 653-2000; Fax: (262) 653-2019. (800) 445-1754 (orders only).
  - 1. Consolidant: LiquidWood.
  - 2. Patch: WoodEpox.
- E. Adhesive: Polymer waterproof adhesive per ASTM D4236 and ANSI/HPVA Type 1, Titebond III or approved equal.
- F. Finishing Materials: Provide the manufacturer's recommended factory-formulated, finishing materials that are compatible with the substrate and undercoats indicated; application and dry mil film thicknesses per manufacture's printed recommendations.
  - 1. Exterior Alkyd Wood Primer: Benjamin Moore Fresh Start Moorwhite Penetrating Alkyd Primer 100
  - 2. Interior Wood Primer: Benjamin Moore Fresh Start Alkyd Enamel Underbody (217)
  - 3. Sealer for Sap Wood and Knots: Shellac based undercoat

## Austin Woman's Club - Window Repair

4. Interior Plaster Primer: Benjamin Moore Fresh Start 100% Acrylic Superior Primer (046)
5. Ferrous Metal Primer: Benjamin Moore Alkyd Low Luster Metal & Wood Enamel C163
6. Galvanized Metal Primer: Benjamin Moore Fresh Start 100% Acrylic Superior Primer (046)
7. Exterior Wood Paint Finish: Benjamin Moore Aura Waterborne Exterior Paint Low Lustre Finish 634
8. Exterior Ferrous Metal Finish: Benjamin Moore Alkyd Low Luster Metal & Wood Enamel C163
9. Galvanized Metal Finish: Benjamin Moore Aura Waterborne Exterior Paint Low Lustre Finish 634
10. Interior Wood Finish: Benjamin Moore Aura Interior Paint, 526 for Satin Finish or 528 for Semi-Gloss Finish (match adjacent surface finish)
11. Interior Clear Finish:
  - Wood Stain: approved equal to Sherwin Williams Wood Classics – Interior Oil Stain (A49-200 Series)
  - Clear Sealer: approved equal to Sherwin Williams Wood Classics – FastDry Sanding Sealer (B26V43)
  - Varnish: approved equal to Sherwin Williams Wood classics – FastDry Oil Varnish (A66-300 Series)
- G. Sealant: Sealant should be Sonneborn NP-1 or approved equal. White color.
- H. Backer Rods: Closed cell polyethylene unless otherwise indicated by sealant manufacturer.
- I. Bond-Breaker Tape: Polyethylene tape or other plastic tape as recommended by sealant manufacturer for preventing sealant from adhering to rigid, inflexible joint filler materials or joint surfaces at back of joint where such adhesion would result in sealant failure. Provide self-adhesive tape where applicable.
- J. Fasteners: Comply with NWWDA I.S.2 for fabrication and with manufacturer's recommendations and standard industry practices for type and size of installation fasteners.
  1. Use countersunk dowels and adhesives for window restoration in lieu of metal fasteners.
  2. All screws and trim nails to be stainless steel.
- K. Bronze Weather-stripping Manufacturer: Subject to compliance with requirements, provide products by one of the following:

Available Manufacturers: Accurate Metal Weatherstrip Co., Inc., 800/536-6043 or approved equal.
- L. Glass and Glazing Materials: For glass and glazing requirements applicable to wood window units.
  1. Glazing Compound: DAP 33 or approved equal.
  2. Fabrication of Glass and other Glazing Products: Fabricate glass and other glazing products in sizes required to glaze openings indicated for Project, with edge and face clearances, edge and surface conditions, and bite complying with recommendations of product manufacturer and referenced glazing standard as required to comply with system performance requirements.

Products:

    1. Restoration Glass: Bendheim Restoration Glass: light restoration glass, thickness to match existing.
    2. Patterned Glass: Wissmach Florentine Clear Glass, thickness to match existing.
    3. Clear Glass: ASTM C1036, Type I (transparent glass, flat, Class 1 (clear), Quality Q3 (glazing select); Double Strength, Thickness to match existing (1/8" assumed).
    4. Protective Sash: Clear Coroplast or approved equal.

## Austin Woman's Club - Window Repair

M. Provide and install cleaned/replacement hardware (sash lifts and sash locks), as approved by Architect, on window elements.

1. Salvaged hardware elements are to be cleaned and repaired for reuse and shall be reinstalled on the window from which they came. Restoration shall include removal of cleaning and lubrication as needed for smooth operation.
2. Replacement Historic Sash Locks: Bronze Verdigris Mission Sash Lock, available from Hippo Hardware Trading Company, 503-231-1444, <https://www.hippohardware.com/products/bronze-verdigris-mission-sash-locks>.

### 2.2 FABRICATION:

- A. Provide custom built replacement sash, sill, other frame and trim sections, and blinds of the specified wood, sizes and types specified. Provide special knives as necessary to reproduce the historical profiles shown and to match existing originals. Assemble the sash members with tight mortise and tenon, glued, joinery. Assemble new frame members with dado or rabbet joints, shop assembled. Use specified adhesive.
- B. All new elements shall match existing historical windows and blinds in configuration, sash pattern, and construction. All new wood elements will be date stamped on the backside, with "installed" and current year, prior to final installation.
- C. Glazing: Prime rebate surfaces with an oil based primer/sealer before glazing. Glaze new window sash at the shop with glass as specified.

## PART 3 - EXECUTION

### 3.1 GENERAL PREPARATION REQUIRED FOR ALL WINDOW ELEMENTS:

- A. Prior to commencement of work, label all glass panes for reinstallation locations.
- B. Remove sash by cutting paint at stop joints and cleanly removing the stop. Permanently label each sash in discrete location.
- C. Install watertight temporary protection in window openings.
- D. Transfer sash if required for asbestos abatement. Owner will be responsible for testing and abatement if necessary. Glass will be salvaged for reinstallation.
- E. Remove all miscellaneous anchors from sash and frames.
- F. Remove applied sealant materials and unsound previous repair materials.
- G. Remove mold from sash and frames using TSP (Trisodium Phosphate) based cleaner.
- H. Remove all paint build-up from all exterior window elements and interior window sash to "sound and tight" condition with no greater than 3 mil thickness of remaining paint finish. Remove paint to bare wood at areas to receive regluing, epoxy repairs, dutchman repairs. Sand and feather all paint to remain, to provide seamless transition. Observe OSHA requirements where lead paint may be present.
- I. Sand top layer of grayed or weathered wood using appropriate sanding materials and tools. Do not round edges or obscure original details.
- J. Remove deteriorated or improperly installed dutchman repairs.
- K. Consolidate all weathered wood with epoxy hardener following specified surface preparation.

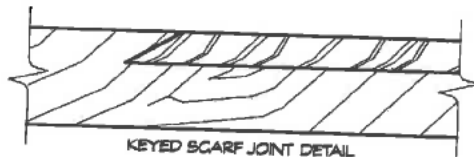
### 3.2 REPAIR PROCEDURES:

- A. Epoxy Repair at Open or Checked Wood:
  1. Brush apply consolidant to entire stripped surface area to be patched immediately prior to patching. Apply and cure per manufacturer's written instructions.

## Austin Woman's Club - Window Repair

2. Minor epoxy repairs: Fill minor holes, gouges, checks, joints, or voids with epoxy patching compound applied in conformance with recommendations referenced. Sand surfaces smooth and flush with adjacent surfaces so that new paint will smoothly blend in over areas that have been patched.
- B. Repair of Rotted Wood Sections with Epoxy Patching Compound: Preparation and application shall be in accordance with the requirements as set forth in the referenced standards and as follows:
  1. Treat intact wood adjacent to proposed repair with epoxy consolidant: Where significant epoxy repair is warranted, drill 1/8" diameter holes along the length of piece perpendicular to the grain. Fill holes with epoxy consolidant, repeating as wood absorbs the fluid. Cure according to referenced standards and epoxy manufacturer's recommendations. Consolidate stripped surfaces with multiple brush applications of consolidant. Where approved by the Architect, consolidate existing wood in place, in lieu of complete replacement of piece. This option will only be considered by the Architect for repair of localized rot at frame and sill components.
  2. Brush apply consolidant to entire surface area to be patched and allow to cure prior to patching.
  3. Fill prepared voids with epoxy patching compound, and sand smooth. Where epoxy compounds are used to build up missing or damaged parts of members, duplicate existing profiles. Sand patch smooth to uniform surface plane matching original surface.

- C. Dutchman Repairs: Remove and discard damaged portion and cut and fit in a matching portion using keyed scarf joint. Where wood is damaged beyond practical repair by the indicated method, Contractor may elect, with approval of Architect, to remove the entire part (such as an entire frame and provide a new matching part. Where entire members have been removed and new members provided, provide joint reinforcements where new and existing, or two new members join. Retain



and match existing woodwork joinery configurations, adapting only as required to incorporate joint reinforcements and adhesive. Match character, color, grain density, and cut of existing wood.

1. Criteria for Repair of Separated Joints: Repair cracks and gaps (in sashes) greater than the sizes listed in the schedule below with replacement of parts as indicated:
  - a. Gap between vertical edges of faces: 3/64" x 8% of joint length
  - b. Intersecting joint gap: 1/32" x 30% of joint length
  - c. Longitudinal gap between molding and face: 3/64" x 8% of joint length
2. Repair splits within elements larger than 3/64" x 3" in either dimension by fitting tapered wood sliver matching species, color, and grain direction into split, gluing, and planing smooth.
3. Holes in excess of 1/8" in any surface dimension: Install wood "Dutchmen" or wood plugs with approved adhesive. Rectangular patches shall be made by splicing in new material with matching species, color, grain direction, moisture content and density.
4. Install Dutchman repair patches by splicing in new material with matching grain, profile, moisture content and density by using scarf joint detail. Install dowels at bottom and biscuit joints at sides to extent feasible. Set with adhesive. Patches shall be invisible upon completion of coating.
- D. Replace Existing Element With New at sill, frame, sash or trim members indicated to be replaced with members of same configuration as original of material specified. All new wood elements will be date stamped on the backside, with "installed" and current year, prior to final installation.
  1. Remove portions of existing finish carpentry where existing material is damaged beyond satisfactory repair.
    - a. Rotted or unsound wood areas shall be removed with a keyhole saw, plane or specialized tool which minimizes damage to adjacent sound wood prior to treatment and patching.



## Austin Woman's Club - Window Repair

- b. Cut and remove existing finish carpentry without damage work to remain. When removing and reinstalling existing finish carpentry, protect against damage. Store safely until reinstalled. Do not reinstall damaged units.
  2. Discard removed existing finish carpentry, which is not scheduled for re-use only after obtaining confirmation from Architect.
  3. Wood Moisture Content: Comply with requirements of referenced quality standard for moisture content of lumber in relation to relative humidity conditions existing during time of fabrication and in installation areas.
  4. Field verify all dimensions and irregular conditions in order to properly fabricate woodwork to fit seamlessly into existing construction assemblies.
  5. Backprime and Prime Lumber. Backprime all finish carpentry to receive opaque finish prior to installation. Do not prime surfaces to be glued or stained.
  6. All new wood elements and reproduction hardware will be date stamped on a non-exposed surface prior to final installation.
  7. Install the work plumb, level, true and straight with no distortions. Shim as required using concealed shims. Install to a tolerance of 1/8" in 8'-0" for plumb and level horizontal lines; and with 1/32" maximum offset in flush adjoining surfaces and 1/16" maximum offsets in revealed adjoining surfaces.
  8. Scribe and cut work to fit adjoining work, and refinish cut surfaces or repair damaged finish at cuts.
  9. Anchor finish carpentry work to anchorage devices or directly attach to substrates. Secure to grounds, stripping and blocking with countersunk, concealed fasteners and blind nailing as required for a complete installation. Use fine finishing nails for exposed nailing, countersink and filled flush with finished surface.
  - E. Muntins damaged by non-historic hardware shall be repaired to "like new" condition using Dutchman, epoxy or full replacement as determined by Architect and Contractor on case by case basis.
  - F. Re-secure loose frame sections so that members fit tightly and the entire frame fits securely in the wall.
  - G. Seal bare areas immediately after repair work is complete with specified primer sealer.
  - H. Clean and condition hardware that is to remain to working order. Remove all paint.
- 3.5 INSTALLATION:
- A. Restored Window Sash: Install restored/replacement sash units, frame elements and trim elements creating sound and snug joints.
  - B. Sash Cords: Reinstall existing and replace damaged with new; connect sash chords to existing sash weights. Reset sash weight access panels in jamb members so joints are flush and smooth.
  - C. Sash Pulleys: Reinstall cleaned and repaired hardware, or install new where necessary or as scheduled.
  - E. Prime and paint sash and trim to match existing.
- 3.6 ADJUSTING:
- A. Adjust sash and hardware to provide a tight fit at contact points, and to provide smooth operation and a weathertight closure prior to securing in closed position. Lubricate hardware and moving parts.
  - B. Fix all upper double-hung sashes in closed position, secured with 2" wood blocks or 1" stainless angles with tamper-resistant screws.

June 7, 2017

Penny Powell, AWC Building Chair  
Austin Woman's Club  
710 San Antonio  
Austin, Texas 78711

Via Email: [rpowell@austin.rr.com](mailto:rpowell@austin.rr.com)

Re: Exterior Assessment  
Austin Woman's Club, 710 San Antonio, Austin, Texas 78711

Dear Penny,

I have completed the survey of the exterior of the Austin Woman's Club (Chateau Bellevue) and this letter summarizes my findings. I performed the survey on May 25, 26, 29, and 30. Conditions were observed by visual observation from accessible vantage points. Binoculars were used to more closely observe conditions at the upper extremities of the building. Conditions at 56 windows and 15 doors were observed using binoculars on the exterior and close visual observation on the interior. In many cases, doors and windows could not be opened, so not all conditions may have been observed.

Based upon my observations, the following are my recommended maintenance priorities:

1. Limited masonry repair, including
  - a. repair/replacement of mortar quoins at the southwest and southeast corners of the main building that are cracked and separating from the stone walls,
  - b. repair/rebuilding of the masonry arch over the sun porch door to the terrace. The keystones of the masonry arch are slipping and need to be stabilized.
  - c. repoint the interior face of the east arch of the ground floor south portico. Mortar joints are eroded/cracked.
2. Repair and painting of exterior windows and doors. Almost all are weathered and deteriorating. Many have sagging bottom rails and all need re-glazing. Seventeen have actively rotting components and two have old termite damage.
3. Repair and painting of sheet metal battlements, wood cornices, south balcony roof, and the north bay. Paint is beginning to fail on these elements. The south balcony roof gutter is leaking. Various joints are open, allowing water to enter.
4. Waterproof the south central balcony. Water is seeping through the cracks in the tiled deck, causing corrosion of the ferrous metals within the vaulted floor structure. The tile must be lifted to allow repair and waterproofing of the structure. Prior to its reinstallation in its original location, the surface of the balcony should be re-contoured to facilitate drainage.
5. Recontour the west balcony. Water collects at the building wall, elevating the moisture level in the wall. The deck needs to be recontoured so all water drains away from the wall.
6. Cleaning and repair of the buttressed area along the west building wall. There are a variety of cracks and bulges in the wall that need to be investigated. Additionally, mortar is deteriorated in a significant percentage of the joints and approximately 90 stones are severely deteriorated and need to be patched or replaced. Numerous embedded anchors, bolts, and other metal elements need to be removed.
7. Cleaning and repair of other masonry, including removal of abandoned conduit and metal items. Typical issues include deteriorated mortar joints and deteriorating stone.
8. Miscellaneous:
  - a. Monitor cracking of stucco at north wall of Chateau Room to determine if it is active. If stable, patch cracks and resurface the wall.
  - b. Repair east gate attachments to stone elements.
  - c. Remove all abandoned conduit. Investigate possibilities for reducing or consolidating exterior conduits. Paint conduits and their anchors.



Penny Powell, AWC Building Chair

June 7, 2017

Page 2

- d. Prune tress away from building walls.
- e. Remove vines from south wall of Chateau Room at roof, conductors and downspouts. Keep pruned so conductors and downspouts are not clogged.
- f. Replace cap on the iron grill at east window #113.
- g. Provide cast iron boots for downspouts at high traffic areas to prevent damage to downspouts.
- h. Replace temporary east yard lighting wiring with a code-compliant installation.

A more detailed discussion of the above items follows.

### MASONRY:

The exterior limestone walls are in good to poor condition. Individual conditions vary depending upon exposure and location on each elevation. Typical conditions include the following:

- There is structural cracking at the arches of doors #205 and #102 as well as at the east arch of the ground floor portico. Several of the voussoirs in the door #205 arch are dropping. Also, there is considerable cracking at the buttressed wall of the west elevation.
- Defective mortar joints, including cracking mortar, mortar that is separating from the stone, and mortar that is eroding. There are a variety of mortar types, including Portland cement mortar and mortar with a high Portland cement content. These mortars are very hard and dense and may be contributing to stone deterioration by forcing moisture to evaporate from the stone rather than through the mortar. Mortar profiles vary from area to area on each elevation.
- Biological growths are discoloring the stone; these vary from algae to lichens and moss. Lichens and moss are concentrated primarily on the west elevation near grade, typically where there is high moisture. Vines are growing on the south wall of the Chateau Room and are growing into conductors and roof flashings. Other plant types are growing in masonry joints at various locations.
- Various limestone units are cracked, delaminating, fragmenting, chipping, honeycombing, and/or coving. A limited number of units have cracked, presumably caused by stresses in the wall or discontinuities in the stone matrix. Many of the units have been laid in the wall with the bedding planes parallel to the face of the wall, facilitating detachment of surface layers (delamination or scaling). Some units appear to be loosing pieces of stone that are irregular in form, thickness, and volume (fragmentation) while others are loosing chips from the edges of the units, typically where there are compression forces acting on the units. Other units have surface cavities (alveoles or honeycombing) that may or may not be interconnected and that are caused by dissolution of material. In extreme cases, a single alveole has developed from the edges of the unit (coving). This latter condition is particularly prevalent at the buttressed wall on the west elevation.
- Deteriorated stone quoins have been replaced with mortar replacements at the top of the northeast, southeast, and southwest corners of the main building. The replacements are cracking and beginning to separate from the walls.
- There are various abandoned metal items (anchors, bolts, straps, conduits, etc.) that are embedded in the stone or attached to it. Those that are ferrous metal are corroding and causing both mortar joints and stone to burst as the metal expands from the corrosion process.
- Ferrous metal items such as tie rod plates are corroding and mortar is missing around the plates.
- Horizontal ledges and buttress tops at the buttressed wall of the west elevation have mortar washes to drain water. The condition of these washes needs to be checked to insure that they are physically sound and perform as intended.

Masonry cracking, particularly that at the buttressed wall of the west elevation needs to be reviewed by a structural engineer. Most likely, the dropping voussoirs at door #205 need to be reset so the arch continues to perform structurally. Repointing the arches at door #102 and the east arch of the ground floor portico may be sufficient at those locations.



Penny Powell, AWC Building Chair

June 7, 2017

Page 3

All defective mortar joints need to be repaired/replaced to keep water from entering the walls. Generally, new mortar should match the appearance (color, texture, tooling) of the adjacent mortar, but it should not have a high Portland cement content. The mortar should be pervious and softer than the stone so any moisture in the wall will evaporate through the mortar and not the stone and any stresses in the wall will be relieved by the failure of the mortar rather than the stone.

Vines should not be allowed to grow on masonry because their tendrils invade mortar joints, the vines grow into roof drainage conductors and downspouts clogging them, and the vines can dislodge/displace flashings causing leaks. Some types of algae, lichens, and moss can chemically erode stone. They grow where there is an adequate supply of food and moisture. In particular, the lichens and mosses should be removed. Algae can be removed, but will return within a year or two, particularly at the exposed upper edges of walls. As masonry repair is performed, a good general cleaning will expose deteriorated conditions more fully and allow a more thorough repair, particularly at the buttressed wall of the west elevation.

The types of stone repair needed vary considerably. Cracked stones can be repaired with adhesives and repair mortars or, in severe cases, they can be replaced with new stone. Stones with significant scaling or delamination can be repaired with repair mortar or stone Dutchmen (caps). Stones with cavities can be repaired with repair mortar. Stones that are coving will need to be replaced or capped with new stone. The failing mortar quoins can be replaced with repair mortar that more closely matches the limestone. While these conditions appear to some degree on every elevation, stone deterioration is most concentrated at the buttressed wall of the west elevation.

All abandoned metals attached to or embedded in the stone walls need to be removed. Holes in stone from the removed items will need to be patched with repair mortar. Stones that have burst from the stresses created by corroding metal will need to be replaced.

All tie rod plates should be mechanically cleaned of corrosion and should be painted with corrosion inhibiting coatings. Loose/deteriorated mortar and stone around the plates should be replaced so the plates have a sound surface on which to bear.

All horizontal surfaces, once accessible, will need to be checked for condition and positive drainage. Defective mortar washes will need to be patched or replaced. Washes should be installed on horizontal stone surfaces that are not contoured and do not have washes.

### **WINDOWS AND DOORS:**

The majority of the windows and doors are deteriorating. Typical conditions include the following:

- Glazing putty is severely deteriorated on most windows, doors, and transoms and no longer keeps water from reaching wood muntins and rails. As a result, coatings are deteriorated, exposed wood is badly checked or rotting, and sash joints are failing.
- Applied glazing stops are warped and no longer keep water from reaching wood. As a result, coatings are deteriorated, exposed wood is badly checked or rotting, sash joints are failing, and stops are rotting.
- Exterior paint is peeling, both from exposure and deteriorated glazing putty. Exposed wood is badly checked or rotting, and sash joints are failing. Interior finishes are deteriorated at some locations, particularly at rails, and on the ground floor where wood is stained.
- Wood sills (window, door, transom) are deteriorating. Paint is peeling and exposed wood is weathered, checked, and/or rotting. Several wood sills are termite damaged.
- Wood frames are deteriorating. Paint is peeling, exposed wood is weathered, checked, and/or rotting. Frame conditions are most severe adjacent to sills.



Penny Powell, AWC Building Chair

June 7, 2017

Page 4

- A number of the window screens are deteriorating and some of the hangers are missing or broken.
- A number of the screen doors are sagging, missing rails, and have damaged screening.
- Glass in several windows is cracked and needs to be replaced.
- Glass in and surrounding doors is not safety glass as required by code.
- All glass needs to be cleaned.
- At most locations window and door hardware is worn, missing, loose, corroded, and/or broken. Some windows have no sash locks. The sash cords at most windows are broken (this may not be an issue since the windows are not opened). Doors hardware on the second floor (Doors #200 – #204) is loose and there are gaps at exterior levers that can allow water to enter. Head and foot bolts do not match and there are abandoned bolts on the doors. The original cremone bolts remain on these doors but no longer operate.
- Windows with air conditioning units exhibit water and structural damage, particularly if the units are not braced to the walls. Condensate from the units has caused water damage to the sills and jambs at select locations. Accordion panels do not fit well at some locations and allow significant air leakage. Gaps between upper and lower sash are not sealed, allowing significant air leakage.

Window sash, transoms, doors, and screens will need to be removed to allow repair of frames and sills. Window air conditioning units also will need to be removed. Each element (sashes, glass, screens, hardware) will need to be numbered prior to removal so it can be reinstalled in its original location after restoration. After removal, the openings will need to be protected for building security and to keep water out. It may be useful to phase the work to minimize disruption to Club activities.

Once the window sash, transoms, doors and screens are delivered to the restoration shop, the hardware on each item should be numbered and assessed prior to removal for repair/refinishing so its repair scope is defined and so it can be reinstalled in its original location after restoration. The same applies to the glass.

Typical repairs will include removal of paint from areas needing repair, epoxy consolidation of weathered, checked or lightly rotting wood, epoxy filling of checks, holes, and rot eroded wood, repair/replacement of damaged/missing elements (muntins, panels, and rails), disassembly and reassembly of sash, screens, and doors to close and reinforce weak joints, sanding, preparation for re-glazing (priming), cleaning glass, reinstallation of glass and glazing putty, and second priming.

During this process, the frames and sills will be restored and painted. Also, hardware will be restored and refinished as needed. Missing elements will be replaced or reproduced. Restored hardware will be reinstalled in its original location once the restored doors, sash, and transoms are back in their original locations.

### **SOUTH CENTRAL BALCONY:**

The tiled deck of south central balcony is cracking, allowing water to enter the structure. Reinforcing within the structure appears to be corroding. As it corrodes, it expands in volume, creating stresses in the structure that are relieved by cracking. The structural cracks are then expressed in new cracks in the tile deck and the cycle repeats itself. Cracks and rust stains on the ceiling of the south portico below the deck are evidence of this process, as are the cracks in the tile deck.

Previous attempts to seal the deck cracks by injection have not been successful. To fully solve the water issues, the tile deck must be removed, salvaging the tile, to allow treatment of the corroding reinforcing and installation of a waterproofing membrane on the structure. Prior to reinstalling the tile in its original location, the deck should be re-contoured to drain to the scupper at the northwest corner of the balcony. Installation of additional drains should be considered, if they can be installed in an inconspicuous manner.

As part of the balcony project the balustrade around the balcony should be repaired. A number of the balusters have

Penny Powell, AWC Building Chair  
June 7, 2017  
Page 5

been patched previously, but are cracking again. Most likely, this damage is caused by corroding reinforcing or anchors within the balusters. Those may need to be exposed and treated with corrosion inhibiting coatings prior to re-patching the balusters. Additionally, there are various mortar joints that are open and that need to be repointed.

### **WEST BALCONY:**

The west balcony has been waterproofed with a coating and drainage spouts have been installed in the balustrade. When this work was done, the deck was not contoured to slope away from the building. As a result, water collects adjacent to the stone wall, raising its moisture content and encouraging biological growths. Over time the elevated moisture level in the wall will cause deterioration of the mortar and stone and interior finishes. The deck contour should be corrected.

### **CORNICES, SOUTH BALCONY ROOF, AND METAL BATTLEMENTS:**

Projecting cornices at the corners of the main building appear to be in good general condition, but have the following maintenance issues:

- Paint is deteriorating.
- The friezes appear to be separating from the stone walls. The frieze at the northeast corner of the east elevation has a substantial gap between it and the stone and a mortar fragment is dangling from the bottom of the frieze.

The south balcony roof has the following maintenance issues:

- Corners appear to have water damage, perhaps from leaking gutters.
- Staining at gutter corners and ends suggest that they are leaking.
- Paint is deteriorating.
- Joints are open.

Metal battlements also appear to be in good general condition, but have the following maintenance needs:

- Horizontal surfaces do not appear to slope sufficiently to drain water effectively.
- Horizontal surfaces appear to have multiple layers of metal that are exposed on the front side. These are unattractive and need to be investigated to learn if they are watertight.
- Some surfaces on the south elevation are deformed and should be investigated to learn if they are watertight.
- The bottom edge of the south battlement is open at one location (there is a gap between the metal and stone).
- Paint is deteriorating.

The cornices and battlements need to be inspected to better define the scope of needed repairs. Deteriorated wood should be epoxy repaired or replaced and conditions that contribute to rot should be corrected. Frieze conditions should be investigated to learn why they are separating from the walls. It may be that they just need to be reattached, or there may be some issue with the masonry wall behind that needs to be addressed.

Similarly, the battlements should be inspected closely to confirm that there are no leaks and that the metal is sound. Any gaps between the metal and stone should be closed to prevent water and bats from entering. Deformations and any other surface defects should be repaired if they are the result of deteriorating metal.

Once repaired, the cornices and battlements should be painted.

### **OTHER MAINTENANCE NEEDS:**

The following are other items that need to be addressed:



Penny Powell, AWC Building Chair

June 7, 2017

Page 6

- Stucco on the north wall of the Chateau Room is cracked. It appears that a sealant has been applied to the cracks. The cracks should be monitored to learn if they are active. If not, they should be repaired. If so, the cause should be identified and corrections should be made before the wall is repaired.
- The stone anchors for the gates at the east property line are loose and are damaging the stone to which they are attached. The anchors need to be reinstalled after the stone is repaired or replaced. The installation details may need to be modified to provide a more durable installation.
- There is a plethora of electrical conduit on the exterior of the building. Typically, anchors and connectors are corroding due to failing paint. If possible, the conduit system should be simplified and redesigned to reduce the number of conduits, to minimize their visual impact, and protect the building from corrosion induced staining and masonry deterioration. The should be painted on a cyclical basis.
- The tree at the northeast corner of the main building and another at the southeast corner of the Chateau Room need to be pruned so branches do not touch the building.
- As previously mentioned, vines need to be removed from the south and east walls of the Chateau Room. It is particularly important to keep them away from the conductors and roof edges.
- Replace the missing cap on the iron grill at east window #113. Without the cap, the U-shaped top rail of the grill collects water that will cause metal deterioration.
- The bottoms of downspouts located in high traffic areas are being damaged. Consideration should be given to the installation of cast iron boots that will be more durable and resistant to damage. Additionally, all downspouts should be securely attached to the building and boots or elbows should extend to grade and direct water away from the building.
- The waterproof coating on the exposed foundation of the east elevation
- Temporary lighting at the east yard area does not comply with city codes and creates a possible hazard. It should be replaced with a permanent system that is in buried conduit and properly grounded.

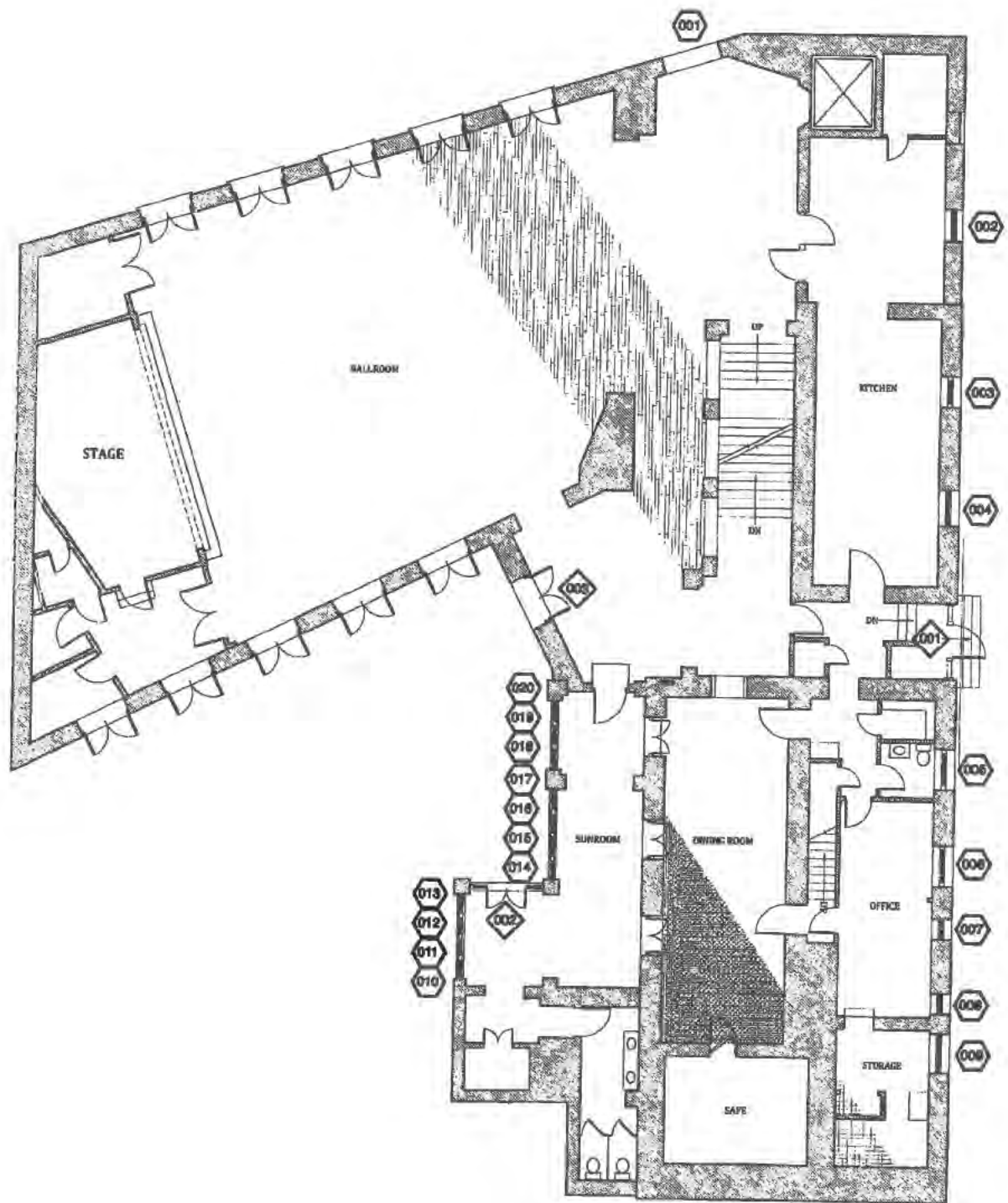
The Chateau Bellevue is unique and a special asset for Austin. The Austin Woman's Club is to be commended for its stewardship of this amazing historic building. It is hoped that the recommendations of this report will assist in formalizing and directing future maintenance and administrative planning necessary to properly preserve this special building.

Sincerely,



John R. Volz, AIA, LEED AP  
Vice President

Attachments: Window & Door Key  
Photograph Pages



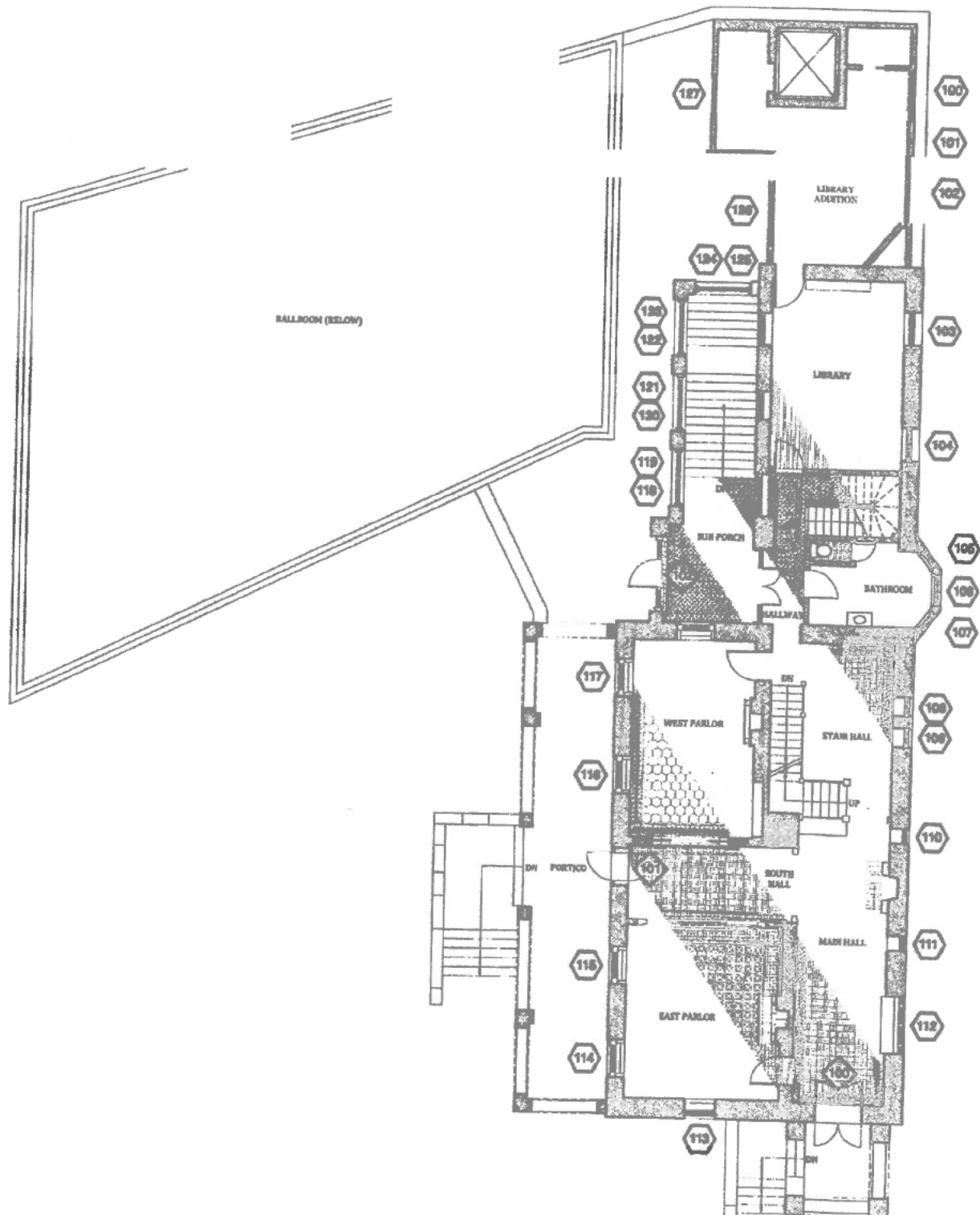
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# Window & Door Key

LOWER FLOOR PLAN

1/8" = 1'-0" H.L.H.  
 METERS 1:24 0

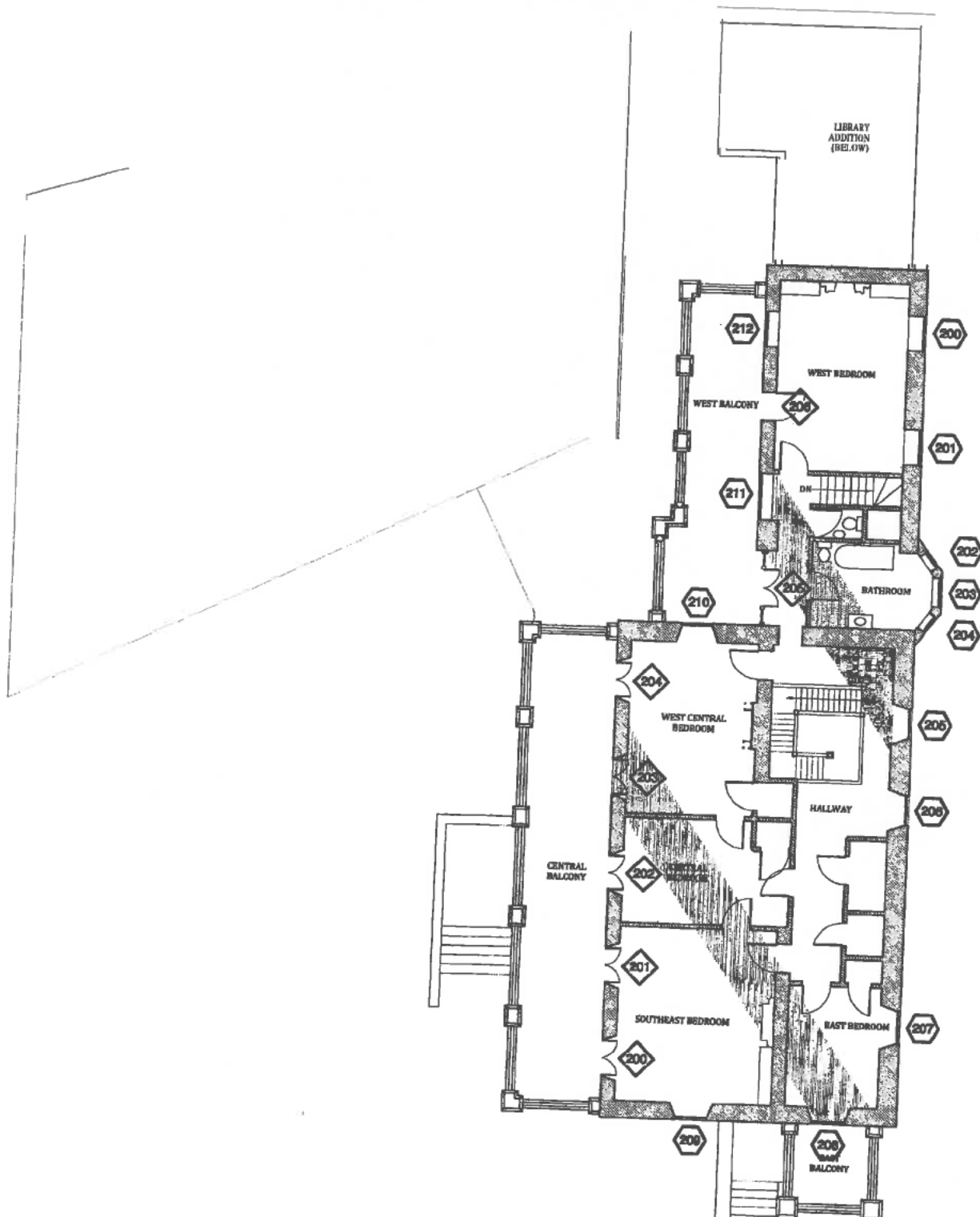




-L.

**Window & Door Key**  
**GROUND FLOOR PLAN**

FEET 3/16" = 1'-0" 0 1 2 3 4  
 METERS 1:64 0 1 2 3 4



Window & Door Key  
 SECOND FLOOR PLAN - 1/2" = 1'-0"

01 2 4  
 0 1



Photo 1: Cracked mortar quoin at southwest corner of main building, west elevation.



Photo 3: Failing mortar patch of quoin at northeast corner of main building, east elevation.



Photo 2: Cracked mortar quoin at southwest corner of main building, south elevation.



Photo 4: Dropping keystones of arch over sun porch door (Door #205).



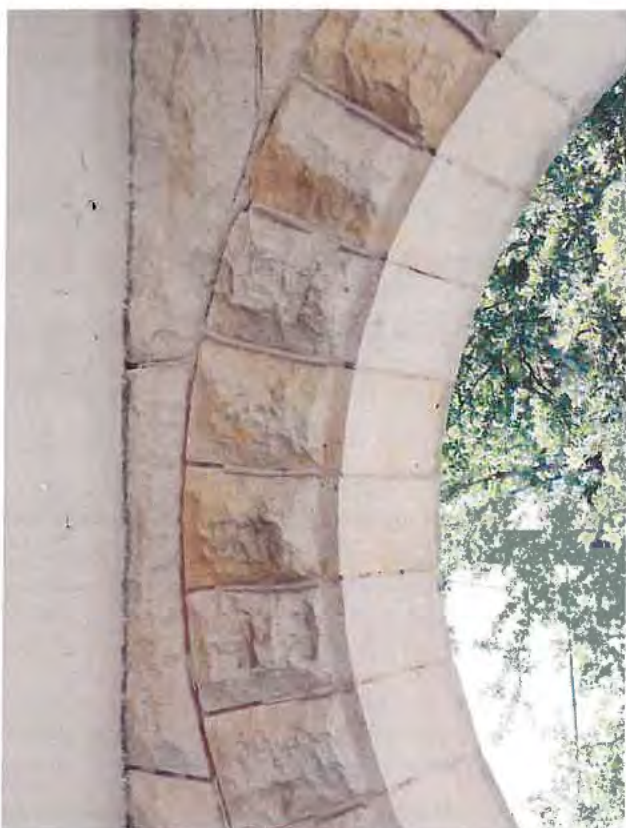


Photo 5: Eroded/cracked mortar joints at east arch of ground floor south portico.

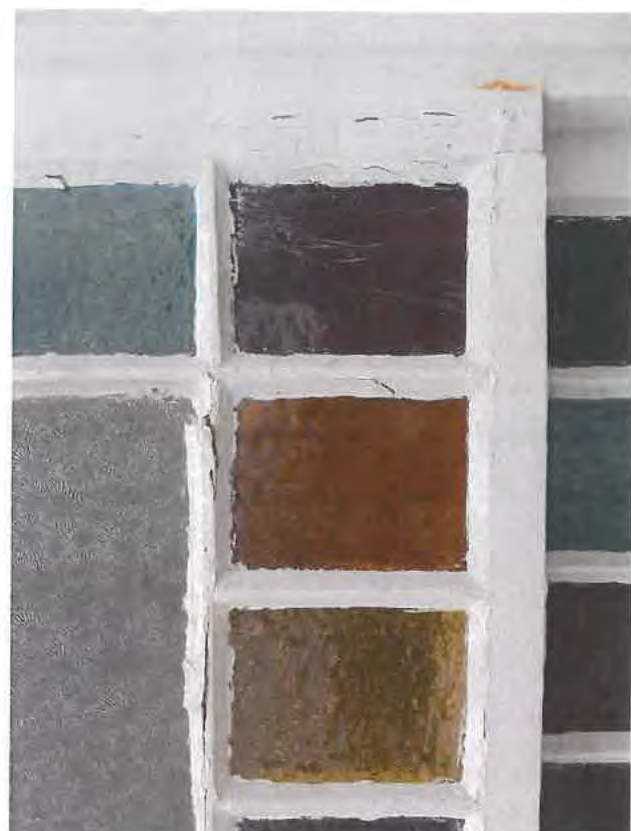


Photo 6: Deteriorated glazing putty and paint is typical. Note dropping bottom rail and stain from rusting fastener.



Photo 7: Typical example of failing bottom rail of top sash. Rail is bowing and dropping.



Photo 8: Deteriorated glazing putty has caused rail/stile joint to fail at this window. Note deteriorated paint on frame.





Photo 9: Deteriorated glazing putty has caused the bottom rail of the top sash to rot. Rail is dropping and bottom of muntin is rotting. Rails no longer meet and keeper of original sash lock is missing.



Photo 11: Typical sill condition. Note peeling paint and exposed wood. Note deteriorated finish on interior stool and water stains.



Photo 10: Jamb in contact with stone is rotting.



Photo 12: Detail of typical exterior sill condition. Note open joints. Note failing glazing putty or failing stile/rail joint.



Photo 14: Termite damaged window sill.



Photo 16: Typical window transom conditions. Note failing paint, open joints, deteriorated glazing putty, and rotting trim.



Photo 13: Detail of rotting bottom rail of bottom sash. Note deteriorated finish on interior stool and jamb.



Photo 15: Rotting window trim.





Photo 17: Typical condition of casement sash with stained glass. Note failing glazing putty and deteriorating stile/rail joint.



Photo 19: Typical door sidelight. Note deteriorated glass stop, peeling paint, checked wood, and water stains. Glass does not meet safety glazing requirements of the building code.



Photo 18: Typical damage caused by window air conditioning units. Note displacement of sash. This air conditioning unit is held in place only by the window sash. The bottom rail of the sash is rotting due to failed putty.



Photo 20: Sill at door sidelight. Note open joints, peeling paint, checked and rotting wood, and rust stains from corroding metal.





Photo 21: Typical door transom sill condition. Note failing paint, checked wood, and deteriorated glazing putty at glass.



Photo 23: South metal battlement. Note multiple layers of caps, open joints, and deformed metal.



Photo 22: Note peeling paint, exposed wood, and patches on sill. Note failing glazing putty at door glass, open joints in panel moldings and stile/rail joints of doors. Glass does not meet code requirements for safety glazing.



Photo 24: Detail of south metal battlement. Note open metal/stone joint at bottom. Also note algae growth that suggests that water is flowing from battlement.





Photo 25: Detail of displaced frieze at east elevation. Note mortar fragment.



Photo 26: Detail of cornice and balcony roof at south elevation. Note open joints and discoloration, peeling paint, and displaced frieze.



Photo 27: Detail of west end of south balcony roof. Note discoloration at gutter indicating leaks, peeling paint, and open joints.



Photo 28: View of the central balcony looking west. Note discoloration that indicated flow of water. Darkest areas are those where water collects.



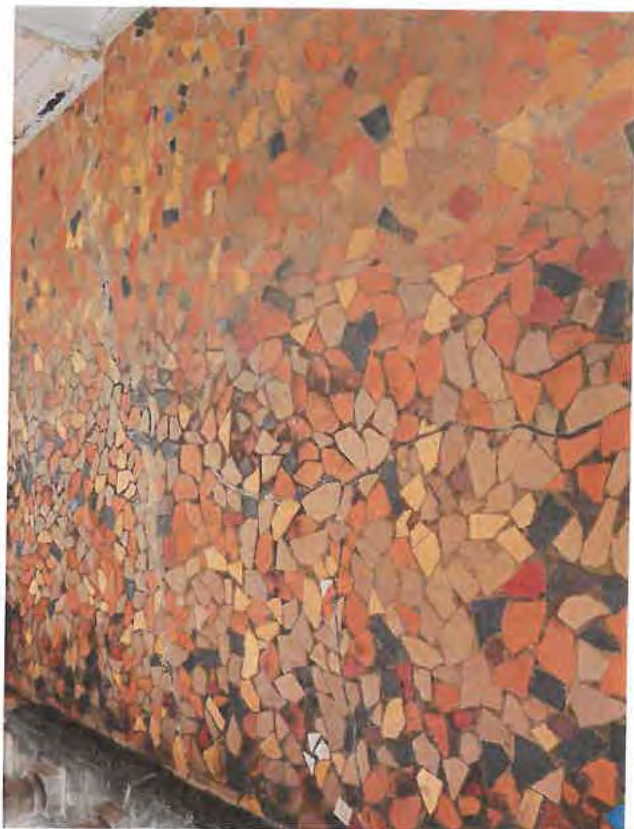


Photo 29: Detail of cracks in central balcony tile deck.



Photo 30: Central balcony is drained through only one scupper at the northwest corner. Note that conduit inhibits drainage.



Photo 31: Detail of south portico ceiling showing leaks from cracks in tile deck of central balcony above. The rusty color of the water stains indicates that structural reinforcing is corroding and causing the cracking.



Photo 32: Previously patched balauster at central balcony is cracking.





Photo 33: Another example of previously patched central balcony baluster that is cracking.



Photo 35: Typical example of cracked and missing mortar. Note cracked stone. Water from portico drain may have caused the window lintel to corrode, causing "rust jacking".



Photo 34: Ponding at the west balcony. Note the biological growth on stone caused by excessive moisture.



Photo 36: Moisture has caused mortar loss and stone deterioration at this west elevation buttress. Note heavy biological growths and separation of hard repointing mortar.





Photo 37: Another example of mortar separating from stone. Note displaced frieze above.



Photo 38: Example of voids in mortar, mortar separating from stone, and biological growths on stone.



Photo 39: Example of caulk used to seal mortar joints.



Photo 40: Typical masonry conditions at buttressed west wall.





Photo 41: Detail of deteriorated stone and mortar at buttressed west wall.

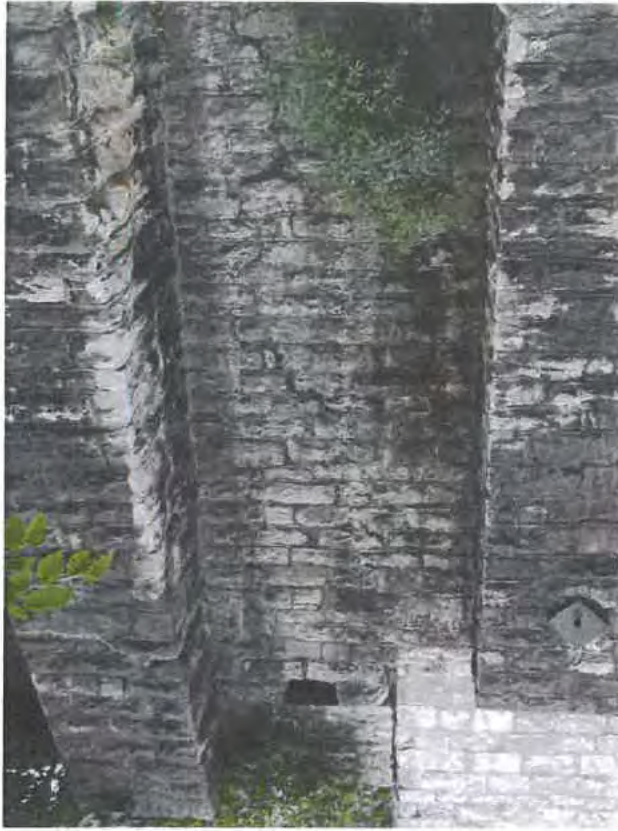


Photo 42: Typical cracking at buttressed west wall.



Photo 43: Detail of cracking at buttressed west wall.



Photo 44: Typical stone deterioration at west wall.





Photo 45: Typical stone and mortar deterioration at west wall buttress. Note sealant applied to joint between buttress and wall.



Photo 47: Typical corroding tie rod plate on west elevation.



Photo 46: Typical examples of stone delamination (scaling) and stone with alveoles (honeycombing).



Photo 48: Abandoned anchors at west elevation buttress. Note deteriorated mortar joints and eroding surfaces of stone.





Photo 49: Crack at north wall of Chateau Room.



Photo 51: Typical example of corroding conduit anchors and connectors. Note peeling paint on conduit.



Photo 50: Typical example of damaged stone at gate anchors.

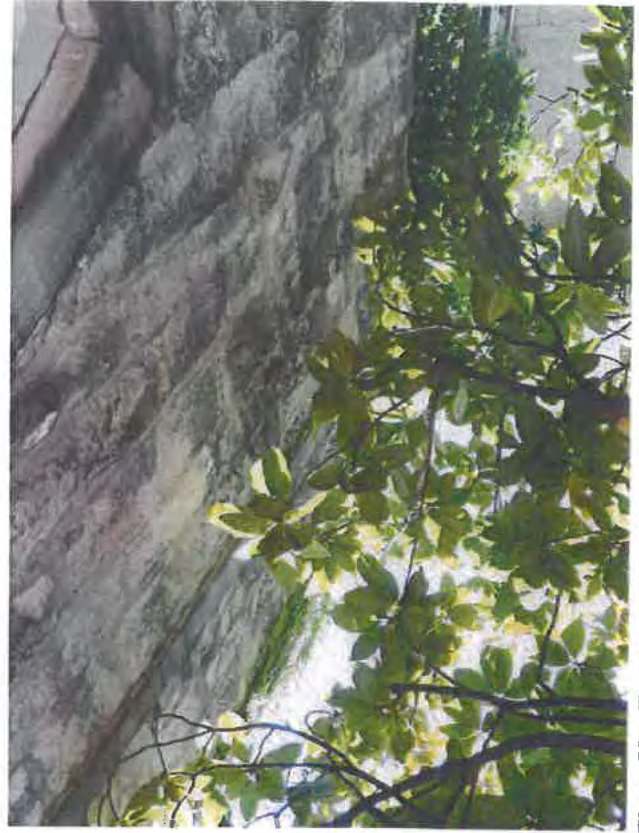


Photo 52: Tree limbs should be pruned so there is no contact with building walls.



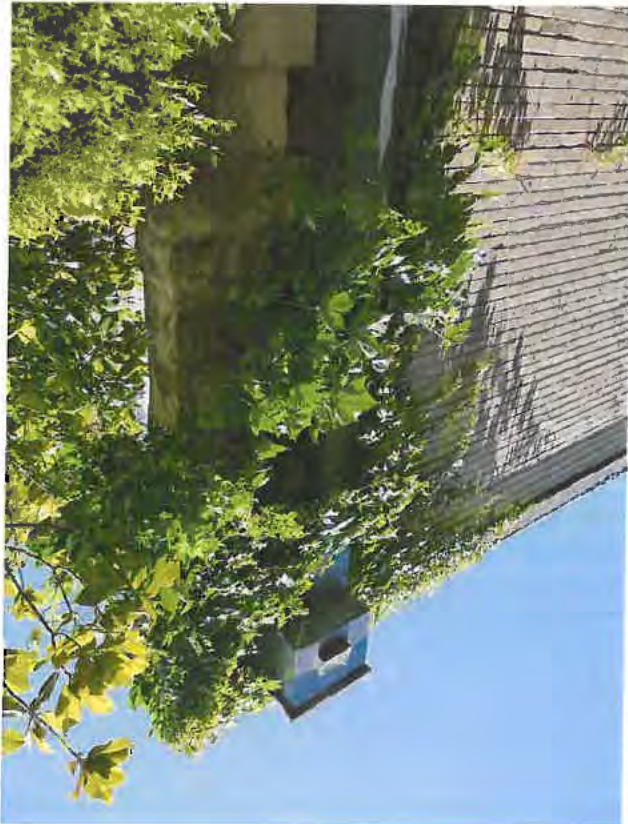


Photo 53: Vines growing on the south wall of the Chateau Room should be removed to prevent them from damaging roof flashings and clogging conductors and downspouts.



Photo 55: All downspouts should be extended to grade in a manner that directs water away from the building. Note deteriorating waterproof coating on foundation at east elevation.



Photo 54: Example of downspout damaged by foot traffic.

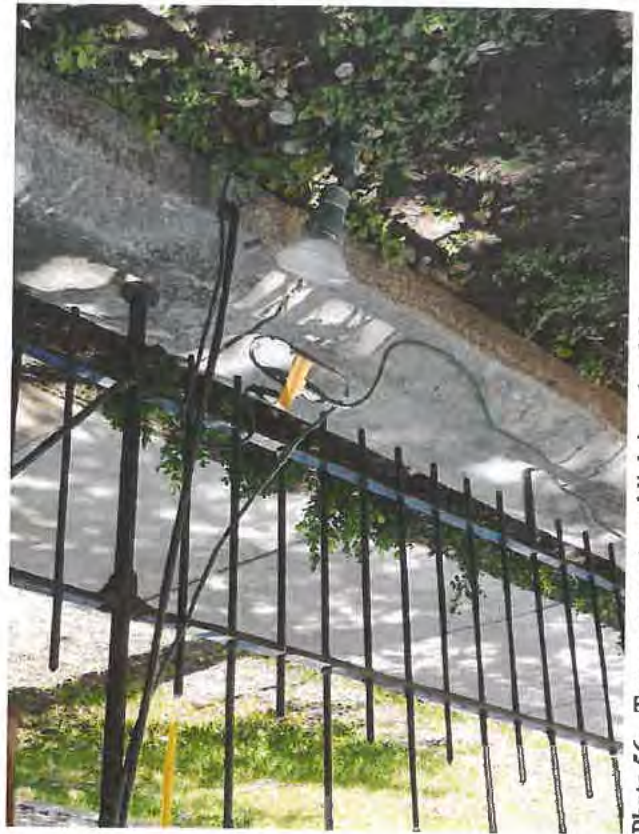


Photo 56: Temporary east yard lighting should be replaced with code-compliant permanent installation.